



## Planning and Zoning Commission Meeting

June 8, 2021

**7:00 p.m. – City Hall and Via Videoconference**

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**NOTICE: \*Due to the Health Officer's orders for safety, public meetings and public comment during public meetings will require modification. The City of Smithville is committed to transparent public meetings and will continue this commitment during the COVID-19 crisis. Anyone who wishes to view the meeting may do so in real time as it will be streamed live on the city's YouTube page through YouTube Live.**

1. Call to Order
2. Approve the May 11, 2021 Planning Commission Minutes
3. Staff Report
4. Public Hearing

Single Phase Final Plat – Mitchell's Greenhouse & Nursery Plat 2, a replat of Lot 1 to create 2 new lots (3 total)

5. Mitchell's Greenhouse & Nursery 2<sup>nd</sup> Plat – 13500 N. 169 Hwy
6. Public Hearing:

Single Phase Final Plat - Kylee Acres Final Plat to create an additional lot (2 lots)

7. Kylee Acres Final Plat – 2000 NE 132<sup>nd</sup>
  8. Public Hearing – Rezoning 18420 Eagle Parkway from R-1P and R-2P with a conceptual plan to R-1D Single Family Small Lot
  9. Rezoning 18420 Eagle Parkway to R-1D Single Family Small Lot
  10. Public Hearing
- Preliminary Plat – Lakeside Farms (formerly Eagle Heights) subdivision to create 261 single family lots

11. **Preliminary Plat Approval – Lakeside Farms (formerly Eagle Heights) to create 261 single family lots**
12. **Medical Marijuana Facility Site Plan Review**
13. **KCI RV Storage Site Plan Amendment**
14. **Herzog Foundation Site Plan Amendment - Cabins**
15. **Adjourn**



SMITHVILLE PLANNING COMMISSION

REGULAR SESSION

May 11, 2021

7:00 P.M.

Council Chambers

**Due to the COVID-19 pandemic this meeting was held via the Zoom meeting app. City staff were at City Hall for the meeting.**

**Planning and Zoning Commission members attended via the Zoom meeting app. The meeting was streamed live on the city's YouTube page through YouTube Live.**

Those attending the meeting: Deb Dotson, Alderman John Chevalier, Dennis Kathcart, Carmen Xavier, Connor Samenus, Mayor Damien Boley, Chairman Rand Smith, and Development Director Jack Hendrix.

**1. CALL TO ORDER**

Chairman Rand Smith called the meeting to order at 7:04 p.m.

**2. MINUTES**

The March 9, 2021 Meeting Minutes were moved for approval by MAYOR BOLEY, Seconded by XAVIER.

Ayes 6, Noes 0, Abstained 1 (Alderman Chevalier). Motion carried.

**3. STAFF REPORT**

HENDRIX reported:

Since January 1, 2021 we have issued 25 single family home permits. For 2020 we issued a total of 50 single family home permits for the entire year, so we are still a little bit ahead.

President Biden has discussed potentially putting an executive order out that relates to federal funding which then relates to inclusionary or exclusionary zoning. If you google this you can get some understanding of what this

means. In Smithville we have a staggard system in place that could be considered to be exclusionary zoning but some of the items that we are working on tonight addresses those issues. If President Biden does sign this executive order it could potentially impact how we are federally funded on items.

In November 2020, the Board of Alderman adopted the 2018 Property Maintenance Code. They also adopted staff recommendation to no longer allow people to park their cars in grass areas. This is because it creates other problems such as; grass not getting mowed around them or tracking mud into the streets, etc. Jack highlighted that the city has a very old zoning code prevision related to RV parking which says they can park in grass. The old is zoning law, and the newly adopted is nuisance. These are separate and distinct. The newly adopted prevails always. The question Jack asked was, in the coming months do we eliminate the zoning law regarding RV parking and not address where they can be parked? This was last brought up in 2005 as a commercial vehicle parking issue. Somehow it got convoluted into RV parking. There are people on both sides of the issue and are very vocal. This is a very controversial issue that needs to be addressed. The other aspect is, we have provisions in our current code that prohibits commercial vehicles from parking overnight in the residential districts but only on the streets. They are only permitted to park the RVs in their driveway. This is a zoning uses issue. We get regular complaints about tractor trailers parked in the streets and driveways in residential subdivisions. Jack asked the commission to think about these issues and whether or not it is something they want to address them in future meetings.

Commercial construction is still moving along. Burger King has pulled their permit and has started construction. Domino's pizza has pulled its permit but has not started construction inside the strip mall at the Marketplace. Jack anticipates that the medical marijuana facility will be coming before this commission for site plan approve soon. He believes that there will likely be a site plan change at KCI RV Storage for different uses in various areas. Attic Storage is preparing for permit approval to start the construction of the secondary buildings in the back. They will also be coming forward for a subdivision of land so that the medical marijuana dispensary can have a separate lot.

The Main Street trail project has been completed and the grass is coming in nicely. Streetscape phase east from Commercial Street to the trail has

started construction. It is looking like completion for that will be sometime in September. You will be able to go from City Hall to Smith's Fork Park either by walking or biking.

MAYOR BOLEY stated that the Herzog Foundation is also moving along pretty quickly. Will the second phase of this come before this commission?

HENDRIX stated yes, it will come back to this commission for the site plan approval for the proposed cabins in the back of the property.

SMITH asked if anything is going to be built on the property where they just took the strip mall down piece by piece. It's located by Central Bank on the south end of town.

HENDRIX stated that nothing has been submitted to the city yet. The property is still for sale. Several people have been close to purchasing it but none of the deals have gone through.

MAYOR BOLEY stated that the shelter at Helvey has been completed. The Kiwanis Club built it. It's a cedar and steel structure. They spent a lot of money on it and it looks nice. They have a few things they want to add and are planning to have a ribbon cutting in July. The playground at Heritage Park is complete and they are getting ready to start on the basketball court.

#### **4. PUBLIC HEARING (FOUR SEPARATE PUBLIC HEARINGS):**

- **SET INITIAL ZONING FOR 2416 NE 157<sup>TH</sup> TERR**
- **SET INITIAL ZONING FOR 15719 N CHESTNUT ST**
- **SET INITIAL ZONING FOR 2224 NE 158<sup>TH</sup> ST**
- **SET INITIAL ZONING FOR 2402 NE 158<sup>TH</sup> ST**

HENDRIX stated we have 4 properties in the Lakeside Crossing subdivision that recently annexed into the city. We now need to set the initial Smithville zoning for them. Each of the 4 lots will require their own public hearing.

#### **2416 NE 157<sup>th</sup> Terr:**

**Public Hearing:** None

**Public Hearing closed**

**15719 N Chestnut St:**

**Public Hearing:** None

**Public Hearing closed**

**2224 NE 158<sup>TH</sup> ST:**

**Public Hearing:** None

**Public Hearing closed**

**2402 NE 158<sup>TH</sup> ST:**

**Public Hearing:** None

**Public Hearing closed**

**5. ZONING FOUR LOTS IN LAKESIDE CROSSING TO R-1B (ONE ORDINANCE RECOMMENDATION)**

SAMENUS motioned to approve the Finding of Facts and initial zoning for the four lots in Lakeside Crossing to R-1B. Seconded by XAVIER.

**DISCUSSION:** None

**THE VOTE:** DOTSON-AYE, MAYOR BOLEY-AYE, KATHCART-AYE, SMITH-AYE, SAMENUS-AYE, ALDERMAN CHEVALIER-AYE, XAVIER-AYE.

**AYES-7, NOES-0. MOTION PASSED**

**6. PUBLIC HEARING: AN ORDINANCE AMENDING SECTIONS 400.090 TO 400.150 OF THE ZONING CODE PERTAINING TO DWELLING**

## **UNIT SIZES AND LOT SIZES IN THE AGRICULTURAL AND RESIDENTIAL DISTRICTS.**

### **Public Hearing:**

**Eric Craig: 106 W Main Street Smithville, MO 64089:** Stated that everyone is aware of the increase in material costs and what that is doing in effect to the market. On the majority of the homes they build, in simple lumber increases we have seen anywhere from a \$35,000 to \$60,000 increase in pricing for the same home we were building 12 months ago. He doesn't foresee a lot of this to change. There has been a domino effect with other building material costs rising as well because of this. He believes because of this you will see families looking for smaller homes. Some worry that smaller homes will be cheap and inexpensive homes, but you really will not see new construction homes under \$300,000 if this kind of change is not made.

MAYOR BOLEY asked what the current cost per square foot to build?

MR. CRAIG stated it about \$185.00 a square foot. A year ago, we were about \$95.00 to \$100.00.

MAYOR BOLEY stated that basically for a 1,100 square foot home you're not building it for under \$200,000.

MR. CRAIG stated that is correct. Even if you were to put it on a slab. Slab means there is no foundation.

DOTSON asked if the \$185.00 per square foot included the foundation.

MR. CRAIG stated that it does.

HENDRIX stated that cost is for a 1,100 square foot house but does not include the cost of the land.

MR. CRAIG stated this cost does not include the cost of permits, cost of the lot, real estate commission, or builder's commission. It is just true hard cost of materials and labor only.

MAYOR BOLEY asked what our current inventory look like in Smithville?

MR. CRAIG stated that there are currently 6 homes for sale in the Smithville School District.

HENDRIX asked if once a house is put on the market if they sell really quick?

MR. CRAIG stated that they are basically selling homes within the first day they are put on the market and they typically have multiple offers in all price points. Lower price point homes (anything under \$300,000) are seeing 5-10 offers on a listing. And then anything over \$300,000 to \$500,000 they are seeing 1 to 3 offers on a listing. He noted he just listed a house at \$675,000 on small acreage in Smithville and he had 2 offers within the first day of it being on the market.

SMITH asked if most are still going for more than the asking price?

MR. CRAIG stated that anything under \$300,000 is going for more than the asking price. But offers on homes that are more than \$300,000 are coming in right around that. Buyers are removing their contingencies for appraisal and inspections to make their offer stronger.

XAVIER asked if there is any activity for any low income housing here at this point? Or is that not lucrative for developers?

MR. CRAIG stated that it is not lucrative for developers. Just the development cost to put in a developed lot is expensive as well. You are lucky if you can get a developed lot in for \$40,000. Depending on certain circumstances it could be as high as \$70,000 per lot. Because of the shift we are seeing affordability is always key for people. Now because material costs are so high it is just going to go in this direction. People have a perception that back in 2008 to 2010 when the real estate market crashed that homes kind of corrected themselves and prices did too. He was selling new construction homes during that time and the materials never really corrected themselves, but labor did. So, what you had was subcontractors who were merely trying to work to pay for their home and to put food on the table, but materials never corrected. He said he does believe that lumber prices will go down, but once price points go up you really do not see these huge drops, so he believes we are going to be stuck in this scenario for quite some time.

DOTSON asked what Mr. Craig attributes the cost of skyrocketing materials? Supply line disruptions?

MR. CRAIG stated that most of it is from supply line disruptions. We are not getting lumber in from Canada like we were. COVID is a factor. He believes that the mills are just not releasing the lumber like they should. There could also be some price gouging. It also could be from one supplier raising their prices and then it is like a domino effect and everybody starts to hit the consumer. As long as interest rates are favorable and low the consumer will still probably end up paying these prices. When people think about smaller homes they think the quality is different, but the home still has to be built per code. It just going to be a smaller scale of a product that the public is already receiving, which is a good product, the inspectors also do a great job making sure the consumer is protected. What we are really trying to do is give an opportunity for affordability for someone to have a new home.

DOTSON asked him to define affordable.

MR. CRAIG stated it is what someone can afford. Right now, with the way pricing is, you will not see a single family new construction home under \$300,000. Homes in the Diamond Crest subdivision were \$90,000 to \$100,000 when they were built. The Wildflower subdivision was in the low \$200,000 when they were built and were now recently selling for \$265,000.

KATHKART stated that this kind of goes along with our efforts to provide housing for teachers, fire fighters and police officers.

**Public Hearing closed**

## **7. AMENDING SECTIONS 400.090 TO 400.150 OF THE ZONING CODE.**

MAYOR BOLEY motioned to approve amending sections 400.090 to 400.150 of the zoning code. Seconded by XAVIER.

### **DISCUSSION:**

HENDRIX stated that he put something different in the ordinance language. It is the fourth whereas clause and it is the finding you all would need to make on this. Our code of ordinances says:

**WHEREAS**, the Planning Commission believes that these changes are necessary due to changed and changing conditions of the real estate market and the specific provision of the 2030 Comprehensive Plan.

HENDRIX stated that he has identified the changes in the real estate market and the provisions of our Comprehensive Plan in the packet that the commission has received. Specifically in the Comprehensive Plan it talks about getting rid of the dwelling unit size issues in multi-family. Approval of this ordinance, either as it sits or any other amended version, would be recommendation to the Board that this commission believes these changes are necessary because of these reasons.

ALDERMAN CHEVALIER stated that he was not on this commission when it was discussed in March and it trying to catch up. He asked for a little clarification on what we are trying to do here.

HENDRIX stated that there are 2 layers of changes. The first change is that we are adding 2 new zoning districts. The first one is the R-1C district which will have a 60 foot wide lot and then R-1D which is a 50 foot wide lot. Currently, R-1B is our smallest single family lot and it's 75 feet wide, unless you go through a Conceptual Plan Overlay process. During his staff report he also mention the inclusionary and exclusionary zoning. This is a way to move us towards more inclusionary zoning to allow multiple markets in the same area. With these new zoning districts and current zoning districts, when someone brings property to be zoned, this commission will have to go through the Findings of Facts process to see how that would impact the housing around it. The second change is the dwelling unit size requirement. In single family homes we have a 1,100 square foot minimum. In multi-family we currently have it at 900 square foot minimum for an apartment. That is a massive apartment and is probably one of the reasons why we don't have too many apartments in Smithville. 900 square feet is the average size for a 3 bedroom apartment. At our meeting in March, the commissions general discussion was to set it at 400 square foot minimum for multi-family. It also allowed us to make some adjustments in our current code.

ALDERMAN CHEVALIER stated that we are talking about affordability and providing homes for people who work jobs that are critical to us, but they can't even live here. He appreciates fixing the lots sizes but if a house can't be built cheaply, under \$300,000, what is this 1,100 square foot going to do to fix this? Are there other options to maybe reduce this or is there other options for maybe someone who wants tiny homes which is a new craze these days?

HENDRIX stated that in some of the multi-family districts do provide a reduced scenario. In the R-3 multi-family dwelling district, the minimum dwelling unit sizes went down to 800 square foot if its single family attached or detached. As far as tiny houses, we don't have a district that would really support those other than if a

tiny house was an apartment complex. We have basically been in a scenario where we have only had new people moving into Smithville. Young people who are from here and getting done with college really couldn't afford to come back into Smithville and there was no place to rent. Clay Creek built 31 units of 4 plex's in 18 months and were 100% rented immediately. And they are not cheap either.

ALDERMAN CHEVALIER stated that he understands for apartments and things like that but is curious if we could squeeze more homes into a subdivision, would those be able to be marketed towards the lower income folks? He asked Mr. Craig what his thoughts are on this.

MR. CRAIG stated he sees and understands where Alderman Chevalier is going with this. What you are going to see is something similar to what happened in the 1980's where interest rates were extremely high, and it cause affordability issues and you then saw a lot of multi-family being built. That is really when duplexes started taking off. He thinks that in order to hit a price point under \$300,000, that is really going to come in a duplex style unit which again is going to come into play with affordability purposes. What you are looking at approving will allow flexibility for developers to put in more lots. The cost with developing a lot is all about curb distance which is where the utilities and everything is. Having smaller lots is not a bad thing and will allow the lot cost to go down which would then be more affordable for the consumer. Then the square footage size going down is going to allow them to hit a lower price point. What is being put in front of you all is allowing options for housing.

MAYOR BOLEY thanked everyone on this commission and City staff for even indulging this and talking through this. He said that when he first brought this up to Mr. Hendrix and in the past these conversations have not gone well. He felt like this has been a good discussion. He doesn't see hundreds of people showing up for public comment which is also a good indicator that the community is willing to entertain this.

**THE VOTE:** DOTSON-AYE, MAYOR BOLEY-AYE, KATHCART-AYE, ALDERMAN CHEVALIER-AYE, SAMENUS-AYE, XAVIER-AYE, SMITH-AYE.

**AYES-7, NOES-0. MOTION PASSED**

## **8. ADJOURN**

DOTSON made a motion to adjourn. XAVIER seconded the motion.

VOICE VOTE: UNANIMOUS

SMITH declared the session adjourned at 7:52 p.m.

NOT YET APPROVED



June 2, 2021  
Initial zoning of Clay County Parcel Id # 09-204-00-01-011.01

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Application for a Plat Approval – Mitchell's Greenhouse & Nursery 2<sup>nd</sup> Plat – 3 lots

Code Sections:

425.285.A.4                      Single Phase Final Plat Approval

Property Information:

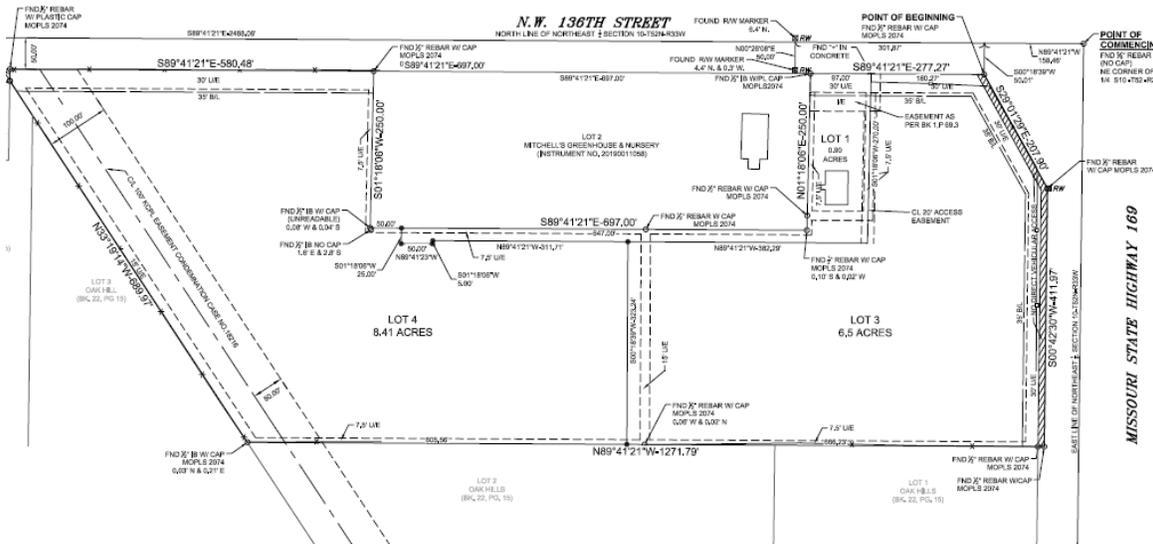
Address:                              13500 N 169  
Owner:                                 Mitchell's Greenhouse & Nursery Inc.  
Current Zoning:                      B-3 Conceptual Plan

Public Notice Dates:

1st Publication in Newspaper:                      May 20, 2021  
Letters to Property Owners w/in 185':                      May 21, 2021

GENERAL DESCRIPTION:

The property is currently Lot 1 of Mitchell's Greenhouse and Nursery subdivision. This subdivision was created with a conceptual plan to authorize lots inside the property to not meet the street frontage requirements of the zoning and subdivision codes. The conceptual plan was created specifically for the purpose of authorizing multiple buildings using a private drive in primarily commercial or mixed-use developments. The purpose of the current subdivision is to divide the original lot 1 building, now Besame Medical Marijuana Dispensary from the remaining land, and to further divide that land into two separate lots. The development will create a new lot 1 that is substantially reduced, but still maintain public access through shared use areas, as well as two new lots to handle both the new Attic Storage of Smithville, and to allow future development of the third lot.



**GUIDELINES FOR REVIEW – SINGLE PHASE SUBDIVISION FINAL PLATS** See 425.285.A.4

The Planning Commission shall consider the following criteria in making a recommendation on the plat:

- a. The plat conforms to these regulations and the applicable provisions of the Zoning Ordinance and other land use regulations. ***Yes, the layout complies with zoning and subdivision requirements.***
- b. The plat represents an overall development pattern that is consistent with the goals and policies of the Comprehensive Plan. ***The Development pattern is similar to the existing zoning on the property.***
- c. The development shall be laid out in such a way as to result in:
  - (1) Good natural surface drainage to a storm sewer or a natural watercourse. ***The property is generally graded for development with a single, pre-approved detention basin. All proposed buildings on Lot 3 have been approved for use of the existing detention basin. Any development on Lot 4 would require an additional stormwater report.***
  - (2) A minimum amount of grading on both cut or fill and preservation of good trees and other desirable natural growth. ***Again, grading of the development is complete in accordance with a previously approved site plan.***
  - (3) A good grade relationship with the abutting streets, preferably somewhat above the street. ***Each lot will have access through the development in accordance with an approved Conceptual Plan.***
  - (4) Adequate lot width for the type or size of dwellings contemplated, including adequate side yards for light, air, access and privacy. ***NA.***
  - (5) Adequate lot depth for outdoor living space. ***N/A.***
  - (6) Generally regular lot shapes, avoiding acute angles. ***Yes.***

(7) Adequate building lots that avoid excessive grading, footings or foundation walls. **Yes.**

d. The plat contains lot and land subdivision layout that is consistent with good land planning and site engineering design principles. **Yes.**

e. The location, spacing and design of proposed streets, curb cuts and intersections are consistent with good traffic engineering design principles.

***There are no new roadways as the existing lots are on existing blacktop.***

f. The plat is served or will be served at the time of development with all necessary public utilities and facilities, including, but not limited to, water, sewer, gas, electric and telephone service, schools, parks, recreation and open space and libraries. ***Yes, the development will be for septic sewers on all lots, and all utilities are available at the street frontage.***

g. The plat shall comply with the stormwater regulations of the City and all applicable storm drainage and floodplain regulations to ensure the public health and safety of future residents of the subdivision and upstream and downstream properties and residents. The Commission shall expressly find that the amount of off-site stormwater runoff after development will be no greater than the amount of off-site stormwater runoff before development. ***The proposed development meets this standard.***

h. Each lot in the plat of a residential development has adequate and safe access to/from a local street. ***N/A***

i. The plat is located in an area of the City that is appropriate for current development activity; it will not contribute to sprawl nor to the need for inefficient extensions and expansions of public facilities, utilities and services. ***Yes.***

j. If located in an area proposed for annexation to the City, the area has been annexed prior to, or will be annexed simultaneously with plat approval. ***Annexed.***

k. The applicant agrees to dedicate land, right-of-way and easements, as may be determined to be needed, to effectuate the purposes of these regulations and the standards and requirements incorporated herein. ***Yes, the plat includes the required dedications.***

l. All applicable submission requirements have been satisfied in a timely manner. ***Yes.***

m. The applicant agrees to provide additional improvements, which may include any necessary upgrades to adjacent or nearby existing roads and other facilities to current standards and shall include dedication of adequate rights-of-way to meet the needs of the City's transportation plans. ***Existing development.***

STAFF RECOMMENDATION:

Staff recommends APPROVAL of the proposed Final Plat based upon adherence to the conditions contained in this report.

Respectfully Submitted,

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Director of Development

## OFFICIAL NOTICE

To whom it may concern and to all parties interested, notice is hereby given that at 7:00 PM on June 8, 2021, the Smithville Planning Commission will conduct virtual public hearings (online via Zoom) and consider the following:

An Application for a single-phase Final Plat for an additional, 2 lots to be called Mitchell's Greenhouse & Nursery 2<sup>nd</sup> Plat on property legally described as follows:

Beginning 10' East of the Northeast corner of Lot 1, Oak Hill subdivision in the City of Smithville, thence West 1,271.79 feet, thence Northwesterly 689.98 feet, thence North 20 feet, thence East to the west line of 169 Hwy, thence along said Right of Way to the Point of Beginning.

The property is commonly known as 13518 N 169 Hwy as depicted here:



As provided in the Zoning Ordinances of Smithville, Mo. the above item will be discussed and considered by the Planning Commission, and all persons interested in said matter will be heard at this time concerning their views and wishes; and any protest of the provisions of the proposed changes to the Zoning Ordinance will be considered by the Commission as provided by law.

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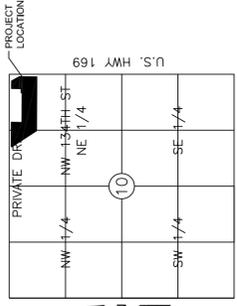
For Public Comment, please email your request to the City Clerk at [ldrummond@smithvillemo.org](mailto:ldrummond@smithvillemo.org) prior to the meeting to be invited via Zoom to access the meeting via internet or phone.

*Publish in the May 20<sup>th</sup> Edition of the CT*

# FINAL PLAT OF MITCHELL'S GREENHOUSE & NURSERY - 2ND PLAT

## A REPLAT OF LOT 1, MITCHELL'S GREENHOUSE & NURSERY

### A SUBDIVISION OF LAND IN SECTION 10, TOWNSHIP 52, RANGE 33 IN THE CITY OF SMITHVILLE, CLAY COUNTY, MISSOURI



VICINITY MAP

SECTION 10, TOWNSHIP 52, RANGE 33  
SMITHVILLE, CLAY COUNTY, MISSOURI  
(NOT TO SCALE)

**DEDICATION:**  
THE UNDERSIGNED OWNERS OF THE PROPERTY DESCRIBED HEREIN HAS/HAVE CAUSED THE SAME TO BE SUBDIVIDED IN THE MANNER SHOWN ON THIS PLAT AND THE PROPERTY SHALL HEREAFTER BE KNOWN AS:

MITCHELL'S GREENHOUSE & NURSERY - 2nd PLAT

**EASEMENTS:**  
AN EASEMENT OR LICENSE IS HEREBY GRANTED TO THE CITY OF SMITHVILLE, MISSOURI, TO LOCATE, CONSTRUCT AND MAINTAIN, OR TO AUTHORIZE THE LOCATION, CONSTRUCTION AND MAINTENANCE OF POLES, WIRES, WIRES, ANCHORS, CONDUITS AND/OR STRUCTURES FOR WATER, GAS, SANITARY SEWER, STORM SEWER, ELECTRICITY, TELEPHONE, CABLE TELEVISION, OR ANY OTHER NECESSARY PUBLIC UTILITY OR SERVICES, ANY OR ALL OF THEM, UPON, OVER, OR UNDER THOSE AREAS OUTLINED OR DESIGNATED UPON THIS PLAT AS UTILITY EASEMENTS (U/E), OR WITHIN ANY STREET OR THOROUGHFARE DEDICATED TO PUBLIC USE ON THIS PLAT.

**STREETS:**  
ROADS AND STREETS SHOWN ON THIS PLAT AND NOT HERETOFORE DEDICATED TO PUBLIC USE AS THOROUGHFARES ARE HEREBY SO DEDICATED.

**MASTER DRAINAGE PLAN:**  
INDIVIDUAL LOT OWNERS SHALL NOT CHANGE OR OBSTRUCT THE FLOW PATH ON LOTS, AS SHOWN ON THE MASTER DRAINAGE PLAN, UNLESS SPECIFIC APPLICATION IS MADE AND APPROVED BY THE CITY ENGINEER.

**BUILDING LINES:**  
BUILDING LINES OR SETBACK LINES ARE HEREBY ESTABLISHED AS SHOWN ON THE ACCOMPANYING PLAT AND NO BUILDING OR PORTION THEREOF SHALL BE CONSTRUCTED BETWEEN THIS LINE AND THE STREET RIGHT OF WAY LINE.

IN TESTIMONY WHEREOF, THE UNDERSIGNED OWNERS HAVE HERETO SET THEIR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

MANAGING MEMBER, MITCHELL'S GREENHOUSE & NURSERY

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ )

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021, BEFORE ME PERSONALLY APPEARED THE ABOVE PERSONS, TO ME KNOWN TO BE THE PERSONS DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME AS THEIR FREE ACT AND DEED.  
IN WITNESS WHEREOF, I HAVE HERETO SET MY HAND AND AFFIXED MY NOTARIAL SEAL AT MY OFFICE IN SAID COUNTY AND STATE THE DATE AND YEAR LAST WRITTEN ABOVE.

NOTARY PUBLIC \_\_\_\_\_ MY COMMISSION EXPIRES: \_\_\_\_\_

**APPROVALS:**  
THIS IS TO CERTIFY THAT THE WITHIN PLAT OF MITCHELL'S GREENHOUSE & NURSERY - 2ND PLAT, WAS SUBMITTED TO AND DULY APPROVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF SMITHVILLE, CLAY COUNTY, MISSOURI, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021, BY ORDINANCE NO. \_\_\_\_\_

DAMEN BOLEY - MAYOR

DATE \_\_\_\_\_

LINDA DRUMMOND - CITY CLERK

DATE \_\_\_\_\_

**SURVEYOR'S GENERAL NOTES**

PLAT BASED UPON MITCHELL'S GREENHOUSE & NURSERY, AS RECORDED AS INSTRUMENT NO. 2019011058.  
NOTE: BEARINGS SHOWN ARE BASED ON THE MISSOURI COORDINATE SYSTEM OF 1983, WEST ZONE (NSRS 2011).  
THIS SURVEY MEETS OR EXCEEDS THE ACCURACY STANDARDS OF AN URBAN CLASS SURVEY AS DEFINED BY THE MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS (20 CSR 2020-16.040).  
INTERIOR LOT CORNERS WILL BE MONUMENTED WITH A 1/2" REBAR & PLASTIC CAP (LC-65).

**PLAT DESCRIPTION**

ALL OF LOT 1, MITCHELL'S GREENHOUSE & NURSERY, RECORDED AS INSTRUMENT NO. 2019011058, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 52, NORTH, RANGE 33 WEST, IN SMITHVILLE, CLAY COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**COMMENCING** AT THE NORTHEAST CORNER OF SAID NORTHEAST QUARTER; THENCE NORTH 89°41'21" WEST, ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER, A DISTANCE OF 158.46 FEET; THENCE SOUTH 00°18'39" WEST, A DISTANCE OF 50.01 FEET TO THE **POINT OF BEGINNING**, SAID POINT BEING AT THE INTERSECTION OF THE SOUTH RIGHT OF WAY LINE OF N.W. 13TH/ STREET AND THE WEST RIGHT OF WAY LINE OF MISSOURI STATE HIGHWAY NO. 169; THENCE SOUTH 29°01'29" EAST, ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 207.90 FEET; THENCE SOUTH 00°42'30" WEST, ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 411.97 FEET TO THE SOUTHEAST CORNER OF SAID LOT 1; THENCE NORTH 89°41'21" WEST, ALONG THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 1271.49 FEET; THENCE NORTH 35°19'14" WEST, ALONG THE WEST LINE OF SAID LOT 1, A DISTANCE OF 689.97 FEET; THENCE NORTH 00°52'32" EAST, ALONG THE WEST LINE OF SAID LOT 1, A DISTANCE OF 18.72 FEET TO THE NORTHWEST CORNER OF SAID LOT 1, SAID POINT BEING ON THE SOUTH RIGHT OF WAY LINE OF SAID N.W. 136TH/ STREET; THENCE SOUTH 89°41'21" EAST, ALONG THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 580.48 FEET TO THE NORTHWEST CORNER OF LOT 2 OF SAID MITCHELL'S GREENHOUSE & NURSERY; THENCE SOUTH 01°18'06" WEST, ALONG THE WEST LINE OF SAID LOT 2, A DISTANCE OF 250.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 2; THENCE SOUTH 89°41'21" EAST, ALONG THE SOUTH LINE OF SAID LOT 2, A DISTANCE OF 897.00 FEET TO THE SOUTHEAST CORNER OF SAID LOT 2; THENCE NORTH 01°06'06" EAST, ALONG THE EAST LINE OF SAID LOT 2, A DISTANCE OF 100.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 2; THENCE SOUTH 89°41'21" EAST, ALONG THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 277.27 FEET TO THE **POINT OF BEGINNING**, CONTAINING 15.82 ACRES.



- = FOUND SURVEY MONUMENT AS NOTED.
- = SET 5/8" IRON BAR WITH 1" PLASTIC CAP STAMPED A/E INC LC 62
- U/E = UTILITY EASEMENT
- I/E = INGRESS/EGRESS EASEMENT
- BL = BUILDING SETBACK LINE



NO.	DESCRIPTION	BY	DATE	FIELD BY:	NB/TA	DRAWN BY:	BB	CHECK BY:	KRB	DATE:	03-29-2021	FIELD BOOK:	JOB NUMBER:	20XC10061
REVISIONS														

**ANDERSON ENGINEERING**  
EMPLOYEE OWNED  
ENGINEERS • SURVEYORS • LABORATORIES • DRILLING  
941 W 141ST TRFR. STE A • KANSAS CITY, MO 64145 • PHONE (816) 777-0700  
A LICENSED MISSOURI ENGINEERING & SURVEYING CORPORATION - LC 62

SMITHVILLE, CLAY COUNTY, MISSOURI  
LOT 1  
REPLAT OF MITCHELL'S GREENHOUSE  
AND 2ND PLAT  
MITCHELL'S GREENHOUSE NURSERY  
FINAL PLAT OF

DRAWING NO. 20XC10061PLATDWG  
SHEET NUMBER 1  
OF 1

**SURVEYOR'S CERTIFICATION**

I HEREBY CERTIFY THAT THE AREA OF MITCHELL'S GREENHOUSE & NURSERY - 2ND PLAT IS BASED ON AN ACTUAL SURVEY BY ME AND IS SUBMITTED AS SHOWN HEREON AND THAT SAID SURVEY MEETS OR EXCEEDS THE CURRENT MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS AS ESTABLISHED BY THE MISSOURI BOARD FOR ARCHITECTS, PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE DEPARTMENT OF NATURAL RESOURCES, DIVISION OF GEOLOGY AND LAND SURVEY. I FURTHER CERTIFY THAT I AM A LICENSED MISSOURI SURVEYOR AND AM CURRENTLY MAINTAINING THE PRACTICE OF SURVEYING AND PLATTING OF SUBDIVISIONS TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF.

KIRK R. BALDWIN, MO PLS 2007019227  
ANDERSON ENGINEERING, INC., LC-62

DATE \_\_\_\_\_



June 2, 2021  
Initial zoning of Clay County Parcel Id # 09-304-00-01-007.05

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Application for a Plat Approval – Kylee Acres Final Plat – 2 lots

Code Sections:

425.285.A.4                      Single Phase Final Plat Approval

Property Information:

Address:                      2000 NE 132<sup>nd</sup> St.  
Owner:                        Eric Dunham  
Current Zoning:              A-1

Public Notice Dates:

1st Publication in Newspaper:              May 20, 2021  
Letters to Property Owners w/in 185':      May 21, 2021

GENERAL DESCRIPTION:

The property is approximately a 63-acre parcel with a single-family home. The proposal is to divide 10 acres from the southeast corner of the lot (abutting 132<sup>nd</sup> St.) and leave approximately 53 acres and the existing home. The proposed subdivision would leave two lots of not less than 10 acres and not less than 300' of road frontage in compliance with the zoning and subdivision codes.

**GUIDELINES FOR REVIEW – SINGLE PHASE SUBDIVISION FINAL PLATS** *See 425.285.A.4*

The Planning Commission shall consider the following criteria in making a recommendation on the plat:

- a. The plat conforms to these regulations and the applicable provisions of the Zoning Ordinance and other land use regulations. ***Yes, the layout complies with zoning and subdivision requirements.***

b. The plat represents an overall development pattern that is consistent with the goals and policies of the Comprehensive Plan. ***The Development pattern is similar to the existing zoning on the property.***

c. The development shall be laid out in such a way as to result in:

(1) Good natural surface drainage to a storm sewer or a natural watercourse. ***The property is naturally suited for development on the 10 acres.***

(2) A minimum amount of grading on both cut or fill and preservation of good trees and other desirable natural growth. **No significant grading is needed for one home and outbuildings.**

(3) A good grade relationship with the abutting streets, preferably somewhat above the street. ***Each lot will have access to 132<sup>nd</sup> St.***

(4) Adequate lot width for the type or size of dwellings contemplated, including adequate side yards for light, air, access and privacy. **Yes.**

(5) Adequate lot depth for outdoor living space. **Yes.**

(6) Generally regular lot shapes, avoiding acute angles. **Yes.**

(7) Adequate building lots that avoid excessive grading, footings or foundation walls. **Yes.**

d. The plat contains lot and land subdivision layout that is consistent with good land planning and site engineering design principles. **Yes.**

e. The location, spacing and design of proposed streets, curb cuts and intersections are consistent with good traffic engineering design principles.

***There are no new roadways as the existing lots are on existing blacktop.***

f. The plat is served or will be served at the time of development with all necessary public utilities and facilities, including, but not limited to, water, sewer, gas, electric and telephone service, schools, parks, recreation and open space and libraries. ***Yes, the development will be for septic sewers on all lots, and all utilities are available at the street frontage.***

g. The plat shall comply with the stormwater regulations of the City and all applicable storm drainage and floodplain regulations to ensure the public health and safety of future residents of the subdivision and upstream and downstream properties and residents. The Commission shall expressly find that the amount of off-site stormwater runoff after development will be no greater than the amount of off-site stormwater runoff before development. ***The proposed development meets this standard.***

h. Each lot in the plat of a residential development has adequate and safe access to/from a local street. ***N/A***

i. The plat is located in an area of the City that is appropriate for current development activity; it will not contribute to sprawl nor to the need for inefficient extensions and expansions of public facilities, utilities and services. **Yes.**

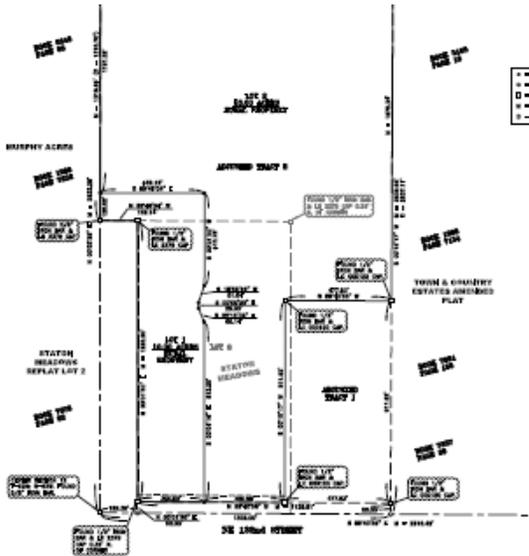
j. If located in an area proposed for annexation to the City, the area has been annexed prior to, or will be annexed simultaneously with plat approval.

***Annexed.***

k. The applicant agrees to dedicate land, right-of-way and easements, as may be determined to be needed, to effectuate the purposes of these regulations and the standards and requirements incorporated herein. ***Yes, the plat includes the required dedications, and prior to recording the Final Plat, Park fees in the amount of \$1,250.00 must be paid.***

l. All applicable submission requirements have been satisfied in a timely manner. ***Yes.***

m. The applicant agrees to provide additional improvements, which may include any necessary upgrades to adjacent or nearby existing roads and other facilities to current standards and shall include dedication of adequate rights-of-way to meet the needs of the City's transportation plans. **No improvements are necessary for one new lot.**



**STAFF RECOMMENDATION:**

Staff recommends APPROVAL of the proposed Final Plat based upon adherence to the conditions contained in this report.

Respectfully Submitted,

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Director of Development

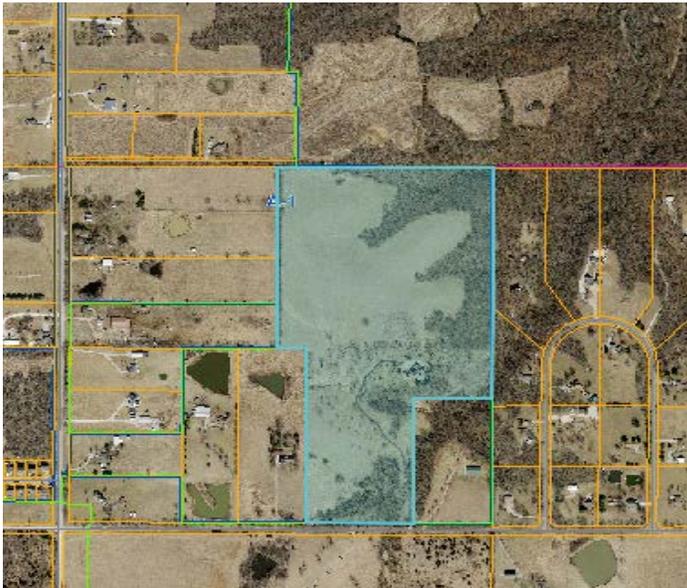
## OFFICIAL NOTICE

To whom it may concern and to all parties interested, notice is hereby given that at 7:00 PM on June 8, 2021, the Smithville Planning Commission will conduct virtual public hearings (online via Zoom) and consider the following:

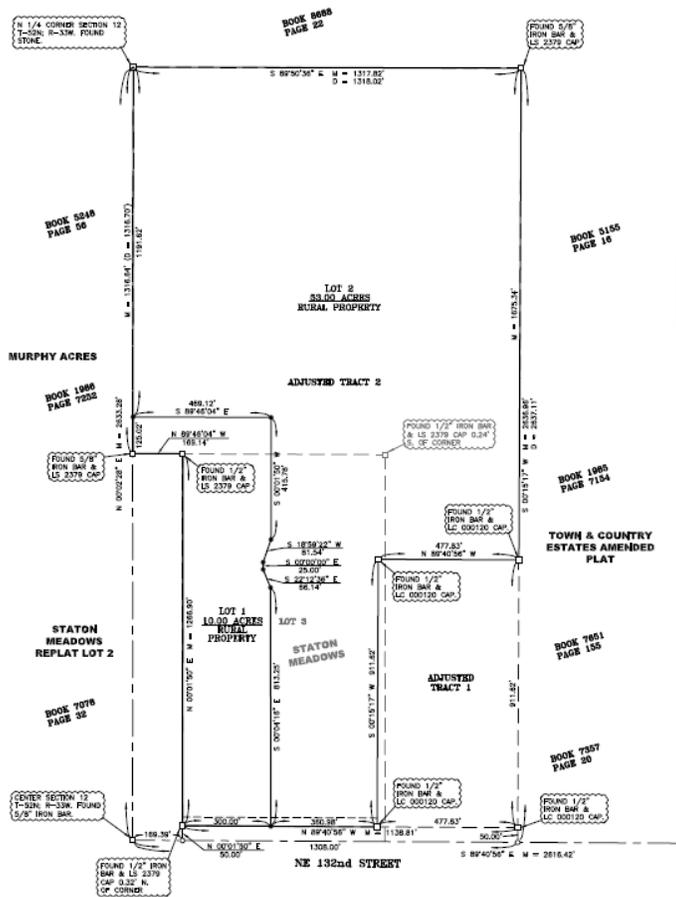
An Application for a single phase Final Plat for a new, 2 lot subdivision to be called Kylee Acres on 63+/- acres on property legally described as follows:

Commencing at the Center of Section 12, Township 52 North, Range 33 West, Smithville, Clay County, Missouri; thence with the South line of the Northeast Quarter of said Section, South 89 degrees 40 minutes 56 seconds East, 169.39 feet; thence departing from said line North 00 degrees 01 minutes 50 seconds East, 50.00 feet to the Point of Beginning; thence continuing along said line North 00 degrees 01 minutes 50 seconds East, 1266.90 feet; thence departing from said line, North 89 degrees 46 minutes 04 seconds West, 169.14 feet; thence North 00 degrees 02 minutes 28 seconds East, 1316.64 feet; thence South 89 degrees 50 minutes 36 seconds East, 1317.82 feet; thence South 00 degrees 15 minutes 17 seconds West, 1675.34 feet; thence North 89 degrees 40 minutes 56 seconds West, 477.83 feet; thence South 00 degrees 15 minutes 17 seconds West, 911.62 feet; thence North 89 degrees 40 minutes 56 seconds West, 660.98 feet to the point of beginning.

The property is commonly known as 2000 NE 132<sup>nd</sup> St. as depicted here:



The proposed subdivision is depicted here:



As provided in the Zoning Ordinances of Smithville, Mo. the above item will be discussed and considered by the Planning Commission, and all persons interested in said matter will be heard at this time concerning their views and wishes; and any protest of the provisions of the proposed changes to the Zoning Ordinance will be considered by the Commission as provided by law.

NOTICE: \*Due to construction at City Hall and the Health Officer's orders for safety, public meetings and public comment during public meetings will require modification. The City of Smithville is committed to transparent public meetings and will continue this commitment. Anyone who wishes to view the meeting may do so in real time as it will be streamed live on the city's Youtube page.

For Public Comment, please email your request to the City Clerk at [ldrummond@smithvillemo.org](mailto:ldrummond@smithvillemo.org) prior to the meeting to be invited via Zoom to access the meeting via internet or phone.

*Publish in the May 20<sup>th</sup> Edition of the CT*

# FINAL PLAT KYLEE ACRES

A MINOR SUBDIVISION IN THE NE 1/4 SECTION 12  
T-52N; R-33W, SMITHVILLE, CLAY COUNTY, MISSOURI

**LEGAL DESCRIPTION:**

Commencing at the Center of Section 12, Township 52 North, Range 33 West, Smithville, Clay County, Missouri; thence with the South line of the Northeast Quarter of said Section, South 89 degrees 40 minutes 56 seconds East, 169.39 feet; thence departing from said line North 00 degrees 01 minutes 50 seconds East, 50.00 feet to the Point of Beginning; thence continuing along said line North 00 degrees 01 minutes 50 seconds East, 1266.90 feet; thence departing from said line, North 89 degrees 46 minutes 04 seconds West, 169.14 feet; thence North 00 degrees 02 minutes 28 seconds East, 1316.64 feet; thence South 89 degrees 50 minutes 36 seconds East, 1317.82 feet; thence South 00 degrees 15 minutes 17 seconds West, 1675.34 feet; thence North 89 degrees 40 minutes 56 seconds West, 660.98 feet to the point of beginning.

The above described tract of land contains 63.00 acres, more or less, and is subject to all recorded and unrecorded easements, restrictions, and right-of-ways.

**SURVEYOR'S CERTIFICATION:**

I HEREBY CERTIFY that we have performed a survey and prepared the accompanying plat of the premises described hereon which meets or exceeds the current Missouri Standards for Property Boundary Surveys, 10 CSR 30-2 and 20 CSR 2030-16, and that the results of said survey are represented on this plat to the best of my professional knowledge and belief.

WITNESS hand and seal this Twenty-sixth (26th) day of April, 2021.

Richard L. Mattson  
Missouri P.L.S. 2674

**SURVEYOR'S NOTES:**

- Except as specifically stated or shown on this plat, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements, other than possible easements that were visible at the time of making of this survey; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land-use regulations; and any other facts that an accurate and current title search may disclose.
- Declaration is made to original purchaser of the survey. It is not transferable to additional institutions or subsequent owners.
- Survey is valid only if print has original seal and signature of surveyor.
- Every document of record reviewed and considered as a part of this survey is noted hereon. Only the documents noted hereon were supplied the surveyor. No abstract of title, nor title commitment, nor results of title searches were furnished the surveyor. There may exist other documents of record that would affect this parcel.
- Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
- The word "certify" or "certificate" as shown and used hereon means an expression of professional opinion regarding the facts of the survey and does not constitute a warranty or guarantee, expressed or implied.
- The South line of the Northeast Quarter of Section 12, Township 52 North, Range 33 West, Clay County, Missouri, bears North 89 degrees 40 minutes 56 seconds West for this survey.

**PLAT DEDICATION:**

The undersigned owners of the property described herein have caused the same to be subdivided as shown on this plat and said property shall hereafter be known as:

"KYLEE ACRES"

**IN TESTIMONY WHEREOF:**

The undersigned owners have hereunto set her hands as follows:

Eric W. Dunham

STATE OF MISSOURI }  
COUNTY OF \_\_\_\_\_ }SS;

On this \_\_\_\_\_ day of \_\_\_\_\_, 2021, before me personally appeared Eric W. Dunham, to me known to be the persons described in and who executed the foregoing instrument, and acknowledged that they executed the same as their free act and deed.

In Testimony Whereof, I have hereunto set my hand and affixed my official seal at my office in \_\_\_\_\_ the day and year first above written.

Notary Public My Commission Expires: \_\_\_\_\_

**PLANNING COMMISSION:**

The final plat of Kylee Acres was submitted to and approved by the Smithville Planning and Zoning Commission on the \_\_\_\_\_ day of \_\_\_\_\_, 2021.

Chairman (SEAL) Secretary (SEAL)

**BOARD OF ALDERMEN:**

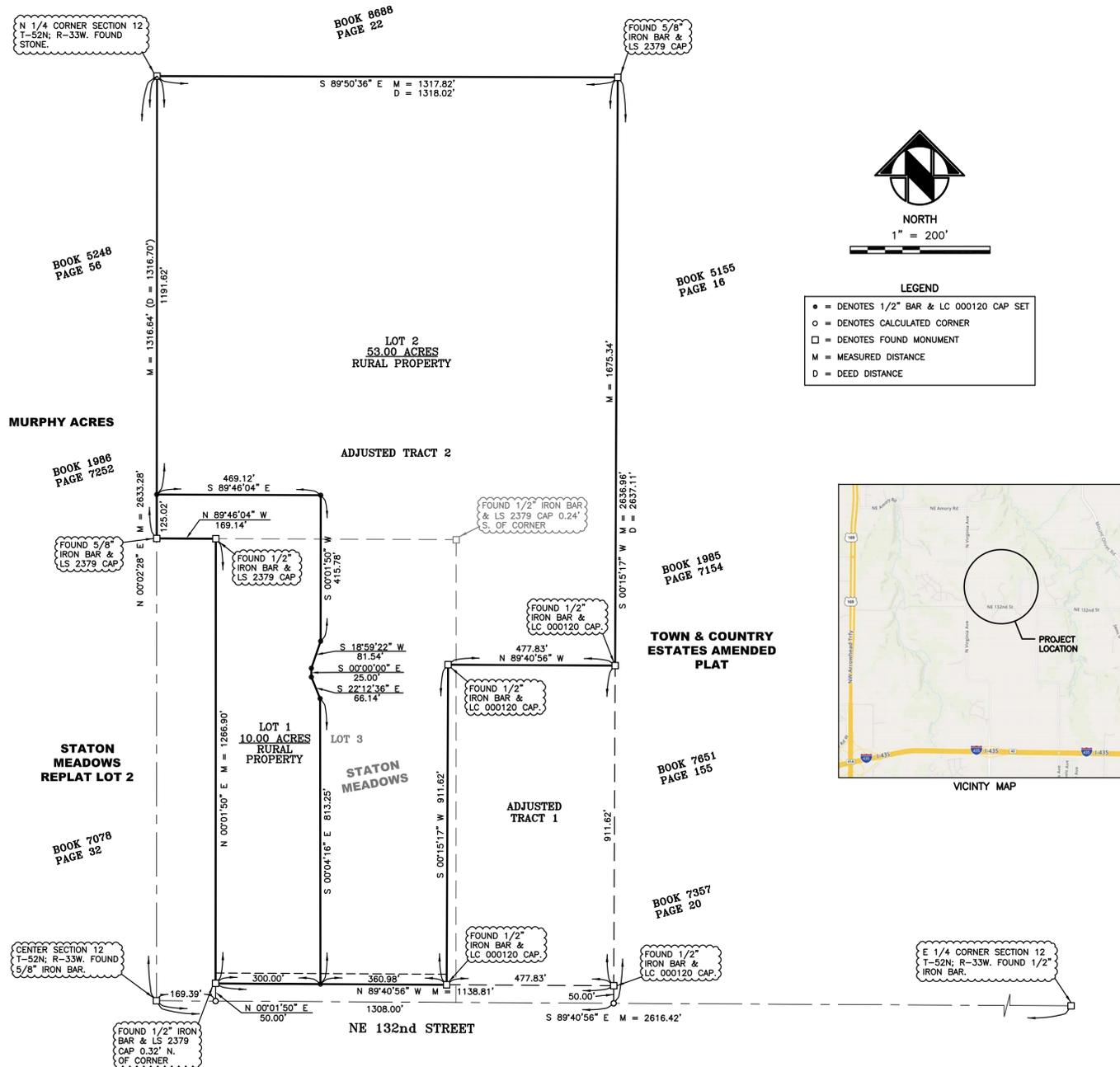
This final plat approved by the Board of Aldermen of Smithville, Missouri, this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

Mayor (SEAL) ATTEST: City Clerk

**RECORDER OF DEEDS:**

Entered on transfer record this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

County Recorder



PREPARED FOR:  
ERIC DUNHAM  
SECTION 12, T-52N; R-33W  
SMITHVILLE, CLAY COUNTY, MISSOURI

**MIDLAND SURVEYING**  
Midland Surveying, Inc.  
Missouri State Certificate of Authority #000120

LAND SURVEYORS - PLANNERS  
4784 Frederick Blvd, St. Joseph, MO 64506  
ph. (816) 233-7900 fax (816) 233-4852  
501 North Market, Maryville, MO 64468  
ph. (660) 582-8633 fax (660) 582-7173

FILE: DUNHAM_SUB	DATE: APRIL 26, 2021	SCALE: 1" = 200'	REVISED:	SHEET NO. 1 OF 1
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LANDOWNER/DEVELOPER:  
Eric Dunham  
12650 N. Virginia Ave.  
Kansas City, MO 64165

PREPARED BY:  
Richard L. Mattson,  
MO PLS 2674  
Midland Surveying, Inc.  
4784 Frederick Blvd.  
St. Joseph, MO 64506



STAFF REPORT  
May 28, 2021  
Rezoning of Parcel Id # 05-302-00-01-005.00

Application for Rezoning District Classification Amendment

Code Sections:

400.560.C Zoning District Classification Amendments

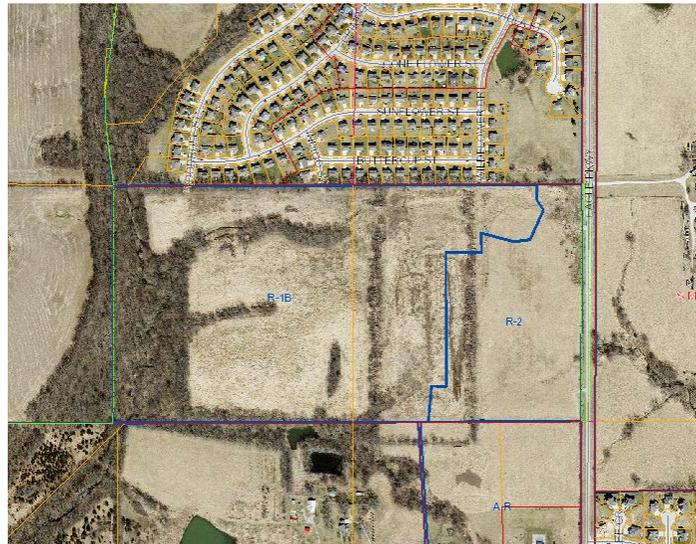
Property Information:

Address: 18420 Eagle Parkway.  
Owner: Eagle Heights Development LLC  
Current Zoning: R-1P and R-2P with Conceptual Plan  
Proposed Zoning: R-1D

Public Notice Dates:

1<sup>st</sup> Publication in Newspaper: May 20, 2021  
Letters to Property Owners w/in 185': May 21, 2021

GENERAL DESCRIPTION:



The applicant seeks to rezone the subject property to R-1D, a newly created zoning district that allows single family housing on smaller lots to improve the affordability. The original plan was to include both single and two-family housing in the development, but the cost of development and construction have increased significantly. The plan is to provide workforce housing options.

#### EXISTING ZONING:

The existing zoning is R-1B and R-2 with a conceptual plan overlay.

#### CHARACTER OF THE NEIGHBORHOOD *400.560.C.1*

The surrounding area is a mix of agricultural land on the east, west and south and a single family subdivision (Wildflower) to the north.

#### CONSISTENCY WITH COMPREHENSIVE PLAN AND ORDINANCES *400.560.C.2*

The new Comprehensive Plan was approved on November 10th, 2020, and formally adopted as the policy of the City on November 17th, 2020. That plan, in section HN1.1 of the Implementation Matrix for housing states "Support providing additional housing stock throughout the city of Smithville to meet current and future residents needs by encouraging new residential development in areas identified in the Future land Use Map."

The development is proposed in a newly created district classification because of the Comprehensive Plan recommendations.

#### ADEQUACY OF PUBLIC UTILITIES OR OTHER PUBLIC SERVICES *400.560.C.3*

##### Streets and Sidewalks:

The site is served by Eagle Parkway to the east, as well as future extensions of Wildflower, Indigo and Woodruff St.'s from the north. Any development must construct streets and sidewalks to current standards.

##### Water, Sewer and Storm water

The city has adequate water and stormwater infrastructure in this developed area. A stormwater evaluation has clearly shown adequate protections are available. Any subdivision would be required to improve the existing lift station for Wildflower and any other offsite infrastructure improvements will be required as a part of any development.

##### All other utilities

Future Development will be conditioned upon installation of all needed upgraded utilities at the cost of the development. Prior to recording any rezoning, a development agreement as approved by the Board of Aldermen must be executed.

SUITABILITY OF THE USES TO WHICH THE PROPERTY HAS BEEN RESTRICTED UNDER ITS EXISTING ZONING *400.560.C.4.*

The current use farmland, but the zoning is a combination of R-2 and R-1 uses. With the skyrocketing costs of home construction additional workforce housing could benefit from small lot sizes

TIME THE PROPERTY HAS REMAINED VACANT AS ZONED *400.560.C.5*

The property was zoned to the existing district classification in 2018, but since that time the development and construction costs have increased significantly and no development has yet occurred.

COMPATIBILITY OF PROPOSED DISTRICT WITH NEARBY LAND *400.560.C.6*

The adjacent land on the north is the existing Wildflower subdivision with single family homes. The proposed zoning would also be single-family detached housing, just on smaller lots.

EXTENT WHICH THE AMENDMENT MAY DETRIMENTALLY AFFECT NEARBY PROPERTY *400.560.C.7*

No detrimental effects are known since the cost of any new housing will be similar or higher in value to the adjacent housing.

WHETHER THE PROPOSAL HAS A DISPROPORTIONATE GREAT LOSS TO ADJOINING PROPERTY OWNERS RELATIVE TO THE PUBLIC GAIN *400.560.C.8*

With no detrimental effects known, no great loss is expected.

STAFF RECOMMENDATION:

Staff recommends that the rezoning to R-1D be approved contingent upon execution of a development agreement as approved by the Board of Aldermen.

Respectfully Submitted,

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Zoning Administrator



STAFF REPORT  
June 2, 2021  
Preliminary Plat of Parcel Id # 05-302-00-01-005.00

Application for a Preliminary Plat Approval

Code Sections:

425.275. A.3 Preliminary Plat Approval

Property Information:

Address: 18420 Eagle Parkway  
Owner: Eagle Heights Development LLC  
Current Zoning: R-1P and R-2P  
Proposed Zoning: R-1D (Single Family 50' lot)

Public Notice Dates:

Publication in Newspaper: May 20, 2021  
Letters to Property Owners w/in 185': May 21, 2021

GENERAL DESCRIPTION:

The property was previously annexed, rezoned and preliminarily platted for a mixed level development in 2018 and 2019. The Plat included both single- and two-family dwelling units for a total of 232 units on 80 acres. Subsequently, the city completed its Comprehensive Plan, and development costs have soared. The current proposal is subject to a rezoning request to change the zoning to a newly created district with smaller lot sizes. The Board of Aldermen recently approved adding two new zoning districts with smaller lot frontage requirements (but not changing the dwelling unit sizes) for single family units.

The development proposed is for a new single-family subdivision to be called Lakeside Farms and create 261 single family lots. The proposed zoning district is R-1D, which allows lots 50' or wider. The proposal is for lots between 55' and 56' generally. The layout of the streets and green spaces has not changed from the existing preliminary plat.

GUIDELINES FOR REVIEW – PRELIMINARY PLATS *See 425.275.A.3*

3. Guidelines for review. The Planning Commission shall consider the following criteria in making a recommendation on the preliminary plat:
  - a. The plat conforms to these regulations and the applicable provisions of the Zoning Ordinance and other land use regulations. ***Yes.***
  - b. The plat represents an overall development pattern that is consistent with the goals and policies of the Comprehensive Plan. ***Proposal is for 261 single family houses on a layout that extends the streets of Wildflower into this new subdivision and creates a new entrance.***
  - c. The development shall be laid out in such a way as to result in:
    - (1) Good natural surface drainage to a storm sewer or a natural watercourse. ***The layout of the streets and stormwater detention are the same as the existing preliminary plat and has met the stormwater requirements of the city.***
    - (2) A minimum amount of grading on both cut or fill and preservation of good trees and other desirable natural growth. ***Plans include leaving the trees along the north property line between this subdivision and Wildflower, as well as the existing trees in the drainage basin to the east.***
    - (3) A good grade relationship with the abutting streets, preferably somewhat above the street. ***Entire subdivision is laid out to meet the grade requirements.***
    - (4) Adequate lot width for the type or size of dwellings contemplated, including adequate side yards for light, air, access and privacy. ***Lots slightly larger than the minimum size allowed in the proposed zone district.***
    - (5) Adequate lot depth for outdoor living space. ***Lot depths are the same as currently approved.***
    - (6) Generally regular lot shapes, avoiding acute angles. ***Meets generally accepted engineering principles.***
    - (7) Adequate building lots that avoid excessive grading, footings or foundation walls. ***Meets generally accepted engineering principles.***
  - d. The plat contains lot and land subdivision layout that is consistent with good land planning and site engineering design principles. ***Meets generally accepted engineering principles.***

e. The location, spacing and design of proposed streets, curb cuts and intersections are consistent with good traffic engineering design principles.

***Meets generally accepted engineering principles.***

f. The plat is served or will be served at the time of development with all necessary public utilities and facilities, including, but not limited to, water, sewer, gas, electric and telephone service, schools, parks, recreation and open space and libraries in the form of a development agreement. ***The developer must update the existing Wildflower pump station to handle all of the new and existing flows; extend waterlines into the development and loop those lines into the existing lines of Wildflower; improve Eagle Parkway with new curbs and stormwater infrastructure on the west side and construct a new 10-wide concrete walking trail extension along the entire Eagle Parkway right of way abutting the property, install any additional offsite traffic improvements when triggered by the traffic study, and provide additional park fees in accordance with Section 425.210. The proposed preliminary plat includes 3.89 acres of qualified parkland dedications of the 16.182 acres required. This leaves a pro-rata portion of the \$625.00 per unit park fee at \$474.75 for each of the 261 units. This translates into a park funding requirement of \$123,911.29 to be paid with each Final Plat or Development agreement as approved by the Board of Aldermen.***

g. The plat shall comply with the storm water regulations of the City and all applicable storm drainage and floodplain regulations to ensure the public health and safety of future residents of the subdivision and upstream and downstream properties and residents. The Commission shall expressly find that the amount of off-site storm water runoff after development will be no greater than the amount of off-site storm water runoff before development. ***Meets generally accepted engineering principles, and final design and construction requirements are met prior to final plat approval.***

h. Each lot in the plat of a residential development has adequate and safe access to/from a local street. ***Yes.***

i. The plat is located in an area of the City that is appropriate for current development activity; it will not contribute to sprawl nor to the need for inefficient extensions and expansions of public facilities, utilities and services. ***The Comprehensive Plan identifies this as an area for single family residential development.***

j. If located in an area proposed for annexation to the City, the area has been annexed prior to, or will be annexed simultaneously with plat approval. ***N/A.***

k. The applicant agrees to dedicate land, right-of-way and easements, as may be determined to be needed, to effectuate the purposes of these regulations and the standards and requirements incorporated herein. ***Plat is in conformance with Engineer's recommendations, including dedications as contained in the plat.***

l. All applicable submission requirements have been satisfied in a timely manner.  
***Yes.***

m. The applicant agrees, in the form of a development agreement, to provide additional improvements, which *may* include any necessary upgrades to adjacent or nearby existing roads and other facilities to current standards and shall include dedication of adequate rights-of-way to meet the needs of the City's transportation plans. ***Off -site or additional facilities are required prior to rezoning approval.***

STAFF RECOMMENDATION:

Staff recommends APPROVAL of the proposed Preliminary Plat conditioned upon execution of a development agreement that meets all of the city standards and as approved by the Board of Aldermen.

Respectfully Submitted,

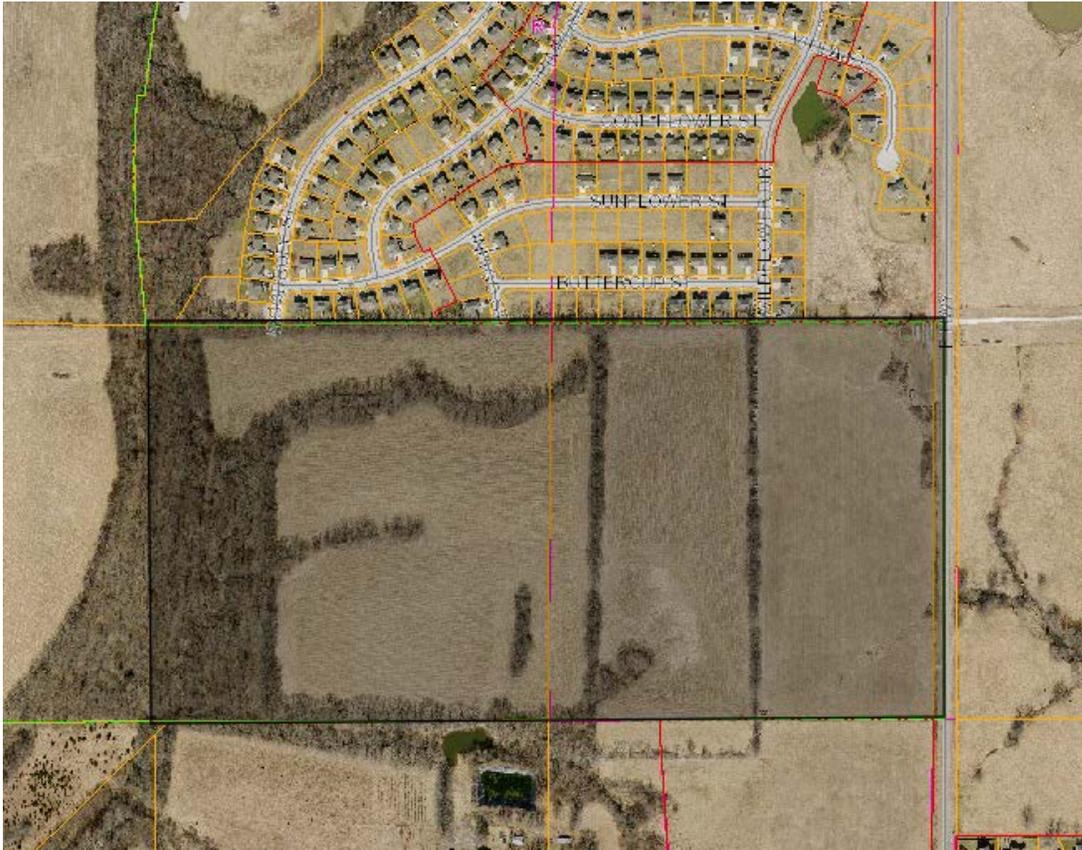
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Director of Development

## **OFFICIAL NOTICE**

To whom it may concern and to all parties interested, notice is hereby given that at 7:00 PM on June 8, 2021, the Smithville Planning Commission will conduct virtual public hearings (online via Zoom) and consider the following:

An Application for rezoning 80 acres from R-1P and R-2P to a new district R-1D and considering a Preliminary Plat for a Subdivision to be named Eagle Heights as depicted below, creating 261 Single Family residential lots on 80+/- acres on property legally described as follows:



Tract 1:

All That Part Of The Southwest Quarter Of The Southwest Quarter Of Section 1, Township 53 North, Range 33 West, In Smithville, Clay County, Missouri Being Described As Follows; Beginning At The Southwest Corner Of The Southwest Quarter Of Said Section 1; Thence N00°07'05"E, Along The West Line Of Said Southwest Quarter, A Distance Of 1331.13 Feet To The Northwest Corner Of The Southwest Quarter Of Said Southwest Quarter; Thence N89°46'52"E, Along The North Line Of Said Quarter Quarter Section, A Distance Of 1279.00 Feet To A Point On The West Right Of Way Line Of "F" Highway; Thence S00°11'44"W, Along Said Right Of Way Line, A Distance Of 1330.25 Feet To A Point On The

South Line Of The Southwest Quarter Of Said Section 1; Thence S89°44'28"W, Along Said South Line, A Distance Of 1277.21 Feet To The Point Of Beginning.  
Tract II:

All That Part Of The South Half Of The Southeast Quarter Of Section 2, Township 53 North, Range 33 West, In Smithville, Clay County, Missouri Being Described As Follows: Beginning At The Southeast Corner Of Said Southeast Quarter; Thence S89°50'56"W, Along The South Line Of Said Southeast Quarter, A Distance Of 1341.20 Feet; Thence N00°07'05"E, A Distance Of 1329.55 Feet To A Point On The North Line Of The South Half Of Said Southeast Quarter; Thence N89°46'52"E, Along Said Line, A Distance Of 1341.21 Feet To The Northeast Corner Of Said South Half; Thence S00°07'05"W, Along The East Line Of Said Southeast Quarter, A Distance Of 1331.13 Feet To The Point Of Beginning.

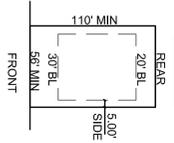
As provided in the Zoning Ordinances of Smithville, Mo. the above items will be discussed and considered by the Planning Commission, and all persons interested in said matter will be heard at this time concerning their views and wishes; and any protest of the provisions of the proposed changes to the Zoning Ordinance will be considered by the Commission as provided by law.

NOTICE: \*Due to construction at City Hall and the Health Officer's orders for safety, public meetings and public comment during public meetings will require modification. The City of Smithville is committed to transparent public meetings and will continue this commitment. Anyone who wishes to view the meeting may do so in real time as it will be streamed live on the city's Youtube page.

For Public Comment, please email your request to the City Clerk at [ldrummond@smithvillemo.org](mailto:ldrummond@smithvillemo.org) prior to the meeting to be invited via Zoom to access the meeting via internet or phone.

*Publish in the May 20<sup>th</sup> Edition of the CT*

TYPICAL LOT DIMS AND SETBACKS



# LAKESIDE FARMS PRELIMINARY PLAT

SECTION 1, TOWNSHIP 53, RANGE 33  
SECTION 2, TOWNSHIP 53, RANGE 33  
SMITHVILLE, CLAY COUNTY, MISSOURI  
CURRENT ZONING: AG  
PROPOSED ZONING: R-1P

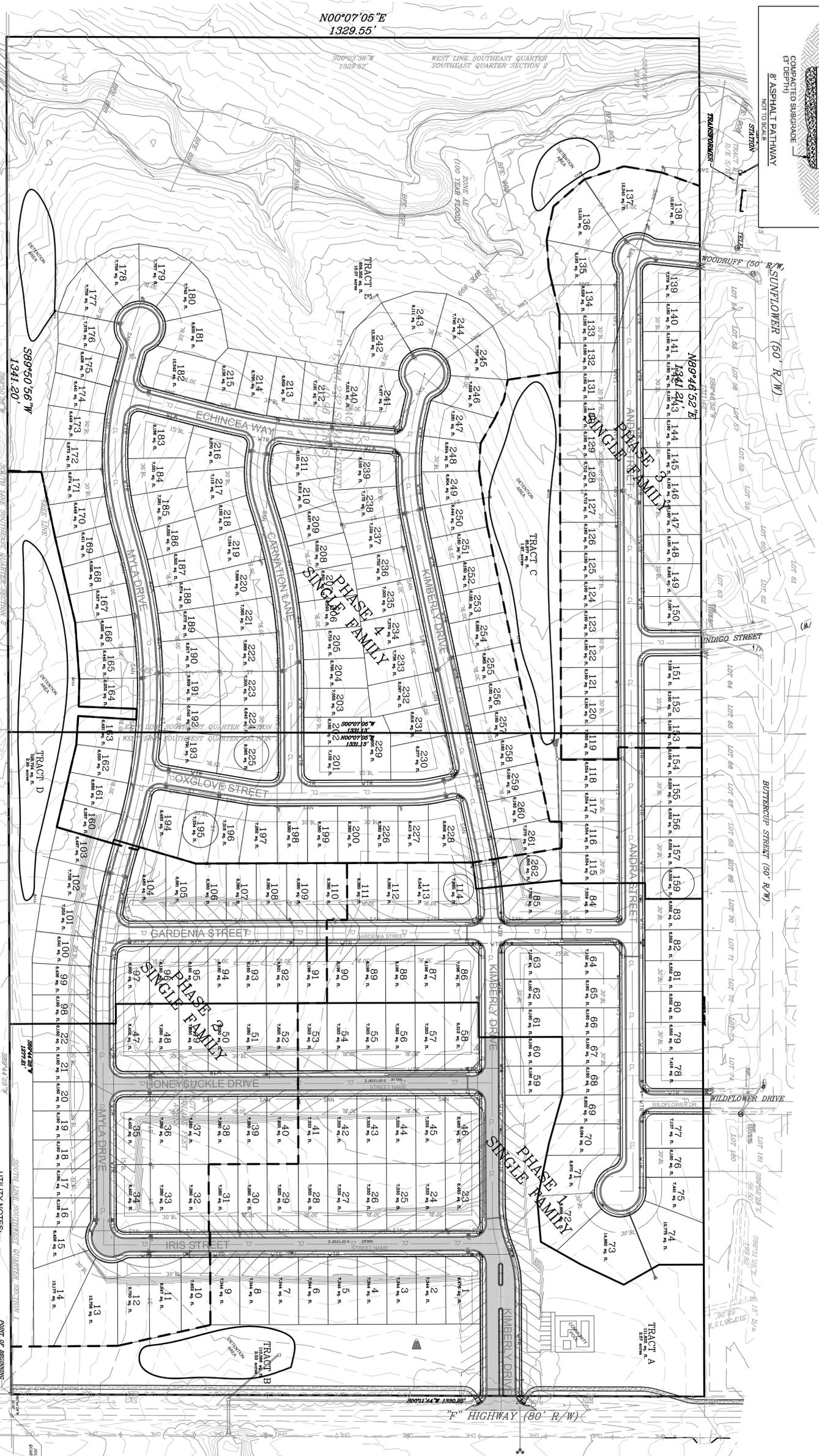
DEVELOPER:

OPEN SPACE DEDICATION REQUIREMENTS (SEC. 425.210)  
TOTAL DWELLING UNITS: 261  
DENSITY: 3.1 PERSONS / UNIT  
REQ. REGRATION AREA: 0.028/PERSON  
REGRATED AREA: 261 X 3.1 X 0.028 = 16.18  
TOTAL REGRATION AREA: 16.18 ACRES  
PAYMENT IN LIEU (SEC. 425.220): \$625.00/UNIT  
TOTAL PAYMENT: 261 X \$625 = \$163,125.00

- NOTE:
1. PROPERTY LAST SURVEYED MAY 2018
  2. DEVELOPER MAY BE REQUIRED TO MAKE PAYMENTS
  3. IN LIEU OF LAND DEDICATION.
  4. ELEVATIONS AND LOCATIONS SHOWN ARE IN CONFORMANCE WITH MADS3 MISSOURI WEST STATE PLANE.

PHASE	LAND DESCRIPTION	COMMENCEMENT	GROSS AREA	STREET ROW	OPEN SPACE	NET AREA LOTS
1	SINGLE FAMILY	SUMMER 2021	23,908c	4,288c	7,078c	19,698c
2	SINGLE FAMILY	MARKET DEMAND	12,998c	1,998c	2,978c	11,008c
3	SINGLE FAMILY	MARKET DEMAND	6,988c	1,408c	1,508c	5,568c
4	SINGLE FAMILY	MARKET DEMAND	36,158c	4,548c	15,078c	31,618c
	<b>PHASE TOTAL</b>		<b>80,008c</b>	<b>12,198c</b>	<b>25,118c</b>	<b>67,818c</b>

LOT AREA (MIN)	6,100 SQ. FT.
LOT WIDTH (MIN)	56 FT.
LOT DEPTH (MIN)	110 FT.
BUILDING COVER	45 %
FRONT YARD SETBACK	30 FT.
REAR YARD SETBACK	20 FT.
SIDE YARD SETBACK	5 FT.
CORNER LOT SIDE YARD	15 FT.



**OBJECT DESCRIPTION**  
TRACT I  
CONTAINING 1,200,723 SQUARE FEET OR 30.04 ACRES  
ALL THAT PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST  
SOUTHWEST QUARTER SECTION 2, TOWNSHIP 53, RANGE 33,  
SMITHVILLE, CLAY COUNTY, MISSOURI BEING DESCRIBED AS  
FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF THE  
SOUTHWEST QUARTER OF SAID SECTION 2, A DISTANCE OF  
1311.3 FEET TO THE NORTHWEST CORNER OF THE SOUTHWEST  
QUARTER OF SAID SECTION 2, A DISTANCE OF 129.0 FEET  
ALONG THE NORTH LINE OF SAID QUARTER SECTION 2, A  
DISTANCE OF 129.0 FEET TO A POINT ON THE WEST RIGHT-  
OF-WAY LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 1,  
THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 1,  
1777.21 FEET TO THE POINT OF BEGINNING.

**OBJECT DESCRIPTION**  
TRACT II  
CONTAINING 1,784,432 SQUARE FEET OR 40.86 ACRES  
ALL THAT PART OF THE SOUTH HALF OF THE SOUTHWEST QUARTER  
SOUTHWEST QUARTER SECTION 2, TOWNSHIP 53, RANGE 33,  
SMITHVILLE, CLAY COUNTY, MISSOURI BEING DESCRIBED AS  
FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID  
SOUTHWEST QUARTER SECTION 2, A DISTANCE OF 1311.3 FEET  
ALONG THE NORTH LINE OF SAID QUARTER SECTION 2, A  
DISTANCE OF 129.0 FEET TO A POINT ON THE WEST RIGHT-  
OF-WAY LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 1,  
THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 1,  
1441.21 FEET TO THE NORTHWEST CORNER OF SAID SOUTH HALF  
QUARTER SECTION 2, A DISTANCE OF 1311.3 FEET TO THE POINT OF  
BEGINNING.

- UTILITY NOTES:**
1. SANITARY SEWER
    - a. ALL PROPOSED SEWER SERVICE SHALL BE PUBLIC
    - b. GRAVITY MAINS PLACE WITHIN A DEDICATED EASEMENT OR ROW.
  2. WATER CONNECTION ON HYDRANTS ARE PROPOSED
  3. FIRE LINES SHALL BE Labeled AS SHOWN ON L.F FROM ALL LOTS.
  4. AND TO FIRE DEPARTMENTS RECOMMENDATIONS.
  5. SIDEWALKS SHALL BE 4' WIDE ON BOTH SIDES OF ALL ROADS.
  6. ALL ROWS SHOWN IS 50' EXCEPT THE ENTRANCE AREA.
  7. ALL ROADS SHALL BE 28' BACK OF CURB TO BACK OF CURB EXCEPT THE ENTRANCE AREA.



PROJECT CONTACTS: ROBERT WALQUIST, P.E.  
821 NE COLUMBUS ST.  
LEE'S SUMMIT, MISSOURI 64063  
Phone: (816) 550-5975  
e-mail: rwalquist@quistengineering.com

**PRELIMINARY PLAT LAKESIDE FARMS**

CIVIL PLANS FOR LAKESIDE FARMS LOTS 1 THRU 261  
SMITHVILLE, CLAY COUNTY, MISSOURI

**Quist Engineering Inc.**  
Civil Engineering for Residential & Commercial Site Development

821 NE Columbus St.  
Lee's Summit, Missouri 64063  
Phone: (816) 550-5975  
e-mail: rwalquist@quistengineering.com

DATE	REVISION	BY
5-25-21	REVISED PROJECT NAME	

DRAWN BY	RAW
CHECKED BY	RAW
DATE	6-15-2021
PROJECT NO.	W1-1303
SCALE	1"=150'



## STAFF REPORT

**Date:** May 28, 2021  
**Prepared By:** Jack Hendrix  
**Subject:** Site Plan Review – CPC of Missouri Medical Marijuana Facility

The applicant has submitted a proposal to construct an 82,775 ft<sup>2</sup> building for cultivation and manufacture of medical marijuana. The proposed location is on land in the industrial park under construction off Park Dr. This structure has been in design for some time, and city staff and engineers have been working with those designers to address the stormwater runoff, water, and sanitary sewer requirements for the building. Those items are required to be approved but are not part of the site plan review process.

During this review, staff identified some requirements that are substantially different than what was required in the CDL school review a few months ago. We have notified the CDL applicant that some standards they were required to meet applied only to B-3 properties and NOT I-1. Those different requirements are identified here.

First, the proposed building is substantially larger than any other building we have reviewed (25% larger than Price Chopper's building) and certain design looks called for in the code don't seem to work well with the size of the structure. To stay within the intent of the requirements of the site plan ordinance, staff recommends a few slight variances from the standards. These variances will also be identified herein.

First, the building is exceedingly long, so much that the north and south elevations must be split into three separate drawings. The east and west elevations are contained in one drawing each. The first variance staff recommends adjusting is the roof pitch. Our standards require that the roof be either 3/12 or higher pitched or can be flat roofed. Given the sheer size of the building, a flat roof is not feasible with the proposed

construction method of a steel structured building. That leaves the standard, sloped roof. The proposed building as depicted would need to be over 11' taller at the peak to meet the 3/12 pitch requirements. As stated above, the sheer size of the building makes that height unnecessarily expensive to construct when wind loads are taken into account.

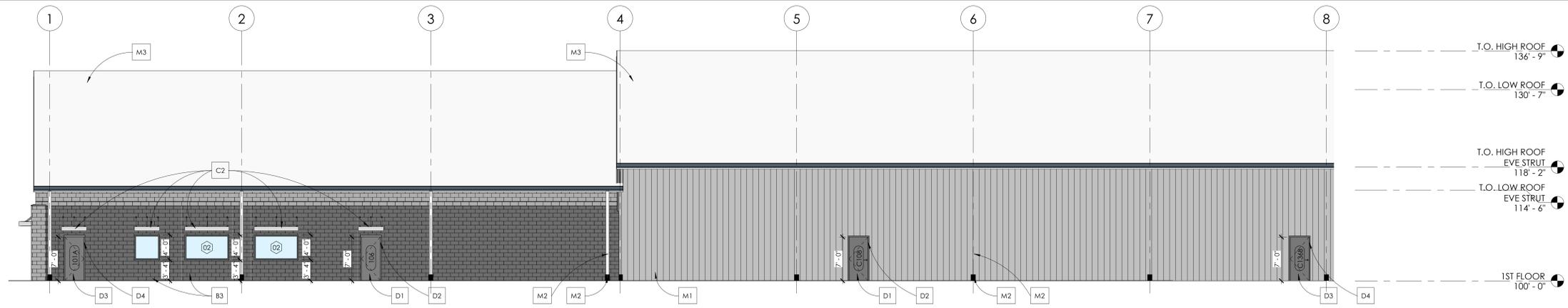
The second variance proposal would be the type and amount of buffering around the number of HVAC units required as a part of the facility. Our standards require exterior ground-mounted equipment shall be screened from view with a solid wall. That section is sufficiently ambiguous that staff recommends that this buffering be present along the side of the units that is visible from the street, and not the full length of the building as well.

The remainder of the submittal complies with the color requirements, material requirements, and in particular the landscaping requirements. Because there are stringent security fencing requirements from the State of Missouri, it will be difficult, if not impossible to lessen the impact of the security. The final matter relates to the different standards from B-3 and I-1 mentioned above. In particular, the type of metal sidings that can be approved are different. In both districts, certain materials are prohibited.

In the B-3 district, the prohibition is of "Metal, except when used only in an incidental role such as trim, architectural features, standing seam metal roofing or other architectural metal siding or roofing as specifically approved"

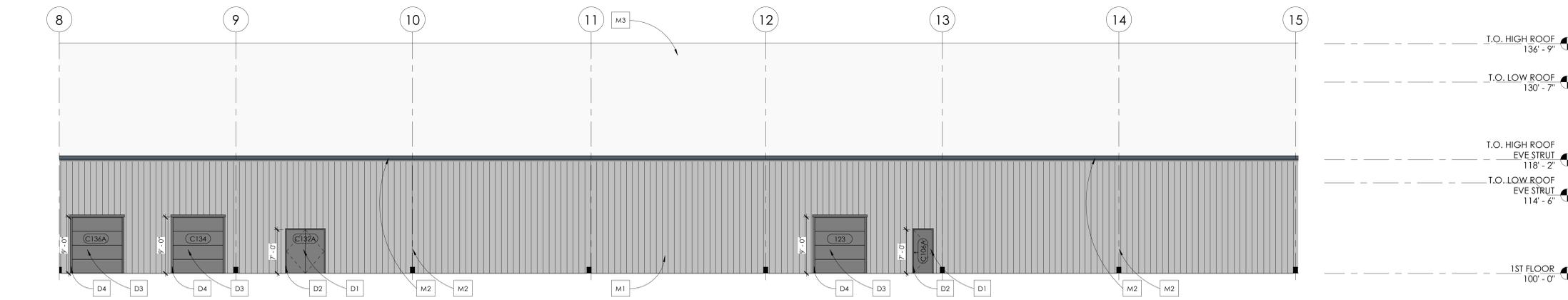
In the I-1 district, the prohibition is "Metal panel siding with a thickness of less than twenty-four (24) gauge and with a corrugation of less than one and one-fourth (1 1/4) inch depth"

This effectively means the ribbed metal panels that are discouraged in the B-3 district are approved in the I-1 district if they meet the gauge and depth requirements as stated. The applicant has submitted plans to meet the I-1 district standards. As a result, staff recommends the Commission approve the design as shown.

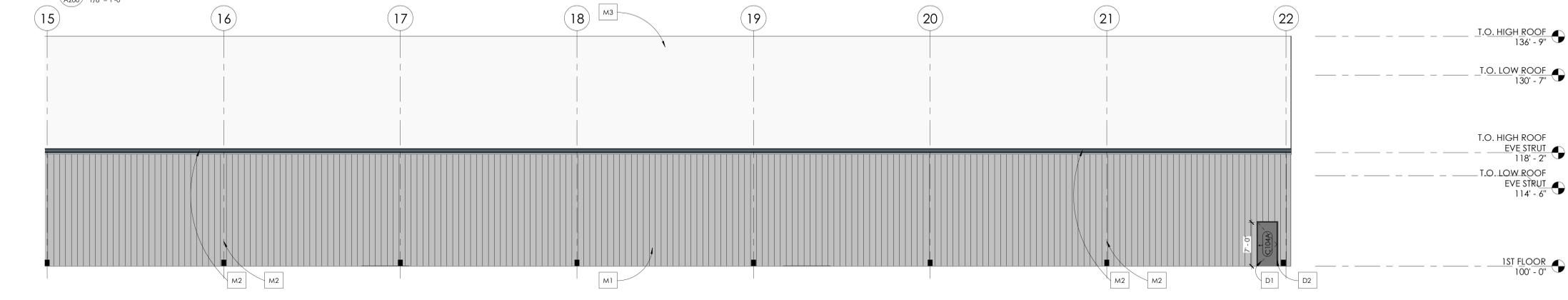


1 NORTH ELEVATION - 01  
A200 1/8" = 1'-0"

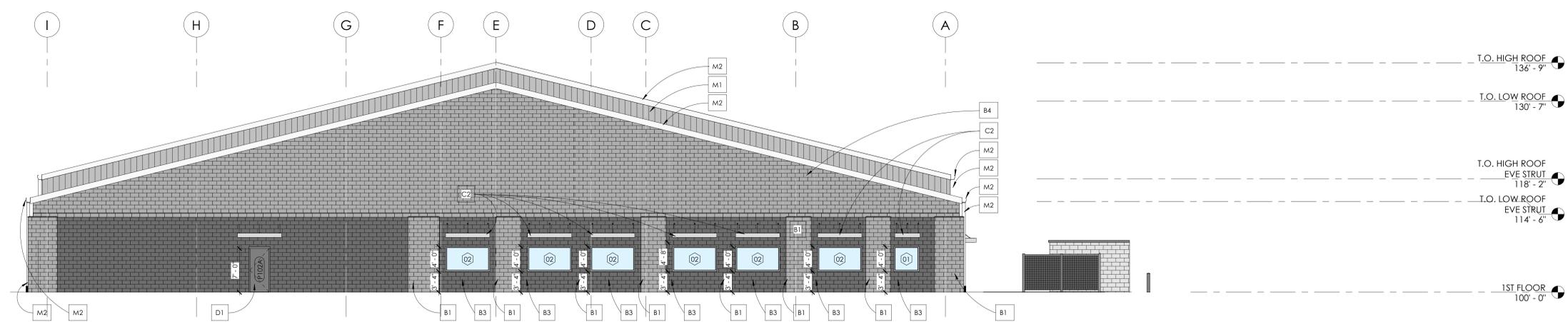
- MATERIAL FINISH LEGEND:**
- M1 FIELD COLOR NUCOR PUDF SLATE GRAY
  - M2 ACCENT COLOR NUCOR PUDF - REGAL WHITE
  - M3 ROOF COLOR NUCOR PUDF REFLECTIVE WHITE
  - M4 PRECAST STONE CAP MIDWEST BLOCK AND BRICK
  
  - B1 FIELD COLOR MIDWEST BLOCK AND BRICK PEWTER 4' SPLIT FACE
  - B2 FIELD COLOR MIDWEST BLOCK AND BRICK PEWTER 8' SPLIT FACE
  - B3 ACCENT COLOR MIDWEST BLOCK AND BRICK SLATE 4' SPLIT FACE
  - B4 ACCENT COLOR MIDWEST BLOCK AND BRICK SLATE 8' SMOOTH FACE
  
  - D1 DOOR COLOR TO MATCH SLATE GRAY - M1
  - D2 DOOR TRIM TO MATCH SLATE GRAY - M1
  - D3 DOOR COLOR
  - D4 DOOR TRIM
  
  - C1 CANOPY - MAPES CANOPY - TBD
  - C2 CANOPY - MAPES CANOPY - BONE WHITE



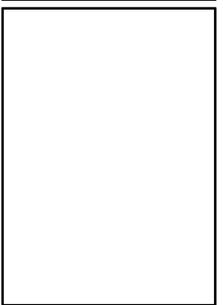
2 NORTH ELEVATION - 02  
A200 1/8" = 1'-0"



3 NORTH ELEVATION - 03  
A200 1/8" = 1'-0"



4 EAST ELEVATION - 01  
A200 1/8" = 1'-0"



GEOFFREY LEWIS CROWLEY  
NUMBER A - 2007035149  
I hereby specify, pursuant to RSMo 327.411,  
this drawing sheet is authenticated by my seal.

CPC OF MO SMITHVILLE CULTIVATION  
14816 U.S. HIGHWAY 169  
SMITHVILLE, MO 64089

DESIGN DEVELOPMENT

MARK	DATE	DESCRIPTION

THIS SHEET IS PART OF A COMPLETE SET. REFER TO GENERAL NOTES FOR COMPLETE LIST OF DOCUMENTS. SHEET SIZE 30 X 42

VERVE PROJECT NO.: 21016  
ISSUE DATE: 05/24/2021

SHEET NAME:  
EXTERIOR ELEVATIONS

SHEET NO.  
**A200**  
© 2021 VERVE

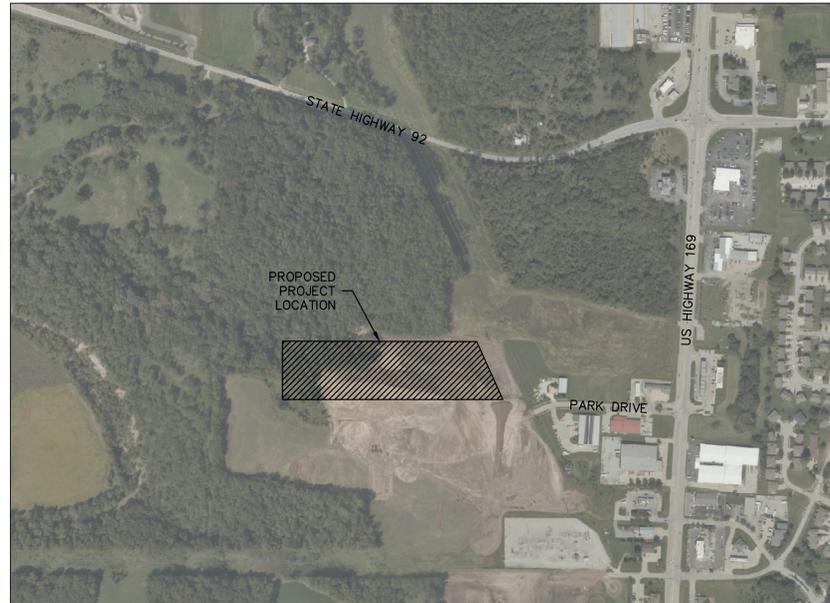


# CPC OF MO SMITHVILLE CULTIVATION

## PARK DRIVE SMITHVILLE, MISSOURI, 64089 FIRST PARK SECOND PLAT, LOT 17 IN SMITHVILLE, CLAY COUNTY, MISSOURI

PROJECT TEAM & UTILITY CONTACT LIST	
<b>OWNER</b> CPC OF MISSOURI, LLC PO BOX 14292 PARKVIEW, MO 64152 CONTACT: LEA HOFFMAN PHONE: 785.766.0288 EMAIL: lee.hoffman@calyxpeak.com	<b>UTILITY SERVICE NUMBERS</b>  <b>ELECTRICITY</b> NAME: EVERGY PHONE: 888.471.5275  <b>WATER &amp; WASTE WATER</b> NAME: SMITHVILLE WATER & SEWER PHONE: 816.532.0577
<b>ENGINEER</b> OLSSON 1717 INGERSOLL AVE, SUITE 111 DES MOINES, IA 50309 CONTACT: BRAD FREEMAN, P.E. PHONE: 515.867.2755 EMAIL: bfreeman@olsson.com	<b>NATURAL GAS</b> NAME: SPIRE PHONE: 816.756.5252  <b>TELEPHONE &amp; INTERNET</b> NAME: SPECTRUM PHONE: 816.358.8833  <b>CABLE, SATELLITE, &amp; DIGITAL TELEVISION</b> NAME: SPECTRUM PHONE: 816.358.8833

**PROPERTY DESCRIPTION**  
FIRST PARK SECOND PLAT, LOT 17



VICINITY MAP  
SCALE: 1" = 500'

SITE DATA	
PROPOSED USE	WAREHOUSE
PROPOSED GROSS FLOOR AREA	SF
EXISTING LOT AREA	435,872 SF / 10.00 ACRE
BUILDING AREA	82,775 SF
PAVEMENT/PARKING/SIDEWALK AREA	57,809 SF
TOTAL IMPERVIOUS AREA	140,584 SF
TOTAL PERVIOUS AREA	295,288 SF
ZONING	I-1

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C0.0	COVER SHEET
C1.0	OVERALL SITE PLAN
C1.1	SITE PLAN
C2.0	OVERALL GRADING PLAN
C2.1	GRADING PLAN
C2.2	DETENTION BASIN PLAN
C3.0	UTILITY PLAN
C4.0	EROSION CONTROL PLAN
C5.0	CONSTRUCTION DETAILS
C5.1	CONSTRUCTION DETAILS
L1.0	LANDSCAPE PLAN

### GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE PLANS IN THEIR POSSESSION ARE THE MOST CURRENT VERSION ISSUED, ARE FULLY COORDINATED WITH ALL SUBCONTRACTORS, AND PRESENT ON SITE AT ALL TIMES. CURRENT PLANS PREPARED BY OLSSON MAY BE OBTAINED AT THE DIRECTION OF OLSSON'S CLIENT. DIRECT REQUESTS TO OLSSON MAY REQUIRE ADDITIONAL AUTHORIZATIONS, AGREEMENTS, AND/OR FEES. PLEASE CONTACT THE ENGINEER FOR INFORMATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DEVIATIONS FROM THESE PLANS UNLESS WRITTEN APPROVAL FROM ENGINEER, OWNER, AND DEVELOPER.
- ALL WORK AND MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
- ALL ESTIMATES OF QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING QUANTITIES AND ITEMS OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED TO COMPLETE THE WORK SHOWN IN THE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, PAYING ALL FEES, AND FOR OTHERWISE COMPLYING WITH ALL APPLICABLE REGULATIONS GOVERNING THE WORK.
- THE CONTRACTOR SHALL NOT ENGAGE IN ACTIVITIES THAT MAY ENCROACH ON WATERS OF THE U.S., INCLUDING WETLANDS, UNTIL ANY NECESSARY PERMITS MAY BE OBTAINED. THE CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL CONDITIONS DESCRIBED IN THE PERMIT.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, THE SAFETY OF ALL PERSONS INCLUDING VISITORS AND THE GENERAL PUBLIC, AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY THROUGHOUT THE PROJECT AND NOT BE LIMITED BY WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
- PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL NOTIFY AND COORDINATE WITH ALL UTILITY COMPANIES AND OBTAIN ANY RELEVANT INFORMATION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL BOUNDARY CORNERS AND SECTION CORNERS. ANY BOUNDARY CORNER AND/OR SECTION CORNER DISTURBED OR DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE RESET BY A LAND SURVEYOR LICENSED IN THE STATE OF MISSOURI, AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ADJACENT PROPERTIES AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO PREVENT DAMAGE DURING CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITIES.
- PRIOR TO MOVING OFF THE JOB THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER TO PERFORM A FINAL WALK-THROUGH OF THE CONSTRUCTION SITE.

### REFERENCES

- ARCHITECTURAL AND STRUCTURAL ELEMENTS SHOWN IN THESE PLANS ARE FOR REFERENCE ONLY. CONTRACTORS AND SURVEYORS SHALL REFERENCE THEIR RESPECTIVE PLANS FOR DESIGN INFORMATION.
- THE CONTRACTOR SHALL ADHERE TO THE SITE PREPARATION AND STRUCTURAL FILL RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AS PROVIDED BY THE GEOTECHNICAL ENGINEER INCLUDING ALL CURRENT ADDENDUMS. THE STANDARDS AND SPECIFICATIONS KCMO APWA SHALL ALSO APPLY AND TAKE PRECEDENCE WHEN STRICTER THAN THE GEOTECHNICAL REPORT OR WHEN NO GEOTECHNICAL REPORT IS GIVEN.
- UNLESS EXPLICITLY DESCRIBED OTHERWISE WITHIN THESE PLANS THE FOLLOWING SHALL APPLY:
  - ALL CONSTRUCTION, INCLUDING THOSE LISTED BELOW, SHALL CONFORM TO THE LATEST CODES AND ORDINANCES OF SMITHVILLE, MISSOURI.
  - ALL CONSTRUCTION IN MISSOURI DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY SHALL CONFORM TO THE LATEST SPECIFICATIONS ADOPTED BY U.S. DEPARTMENT OF TRANSPORTATION AND MISSOURI DEPARTMENT OF TRANSPORTATION.
  - ALL TRAFFIC CONTROL SIGNAGE SHALL CONFORM WITH THE CURRENT EDITION OF THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
  - ALL UTILITY EXTENSIONS AND CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE UTILITY COMPANIES.
  - ALL EXTERIOR PAVEMENT (POC, ASPHALT, ETC.) SHALL BE IN CONFORMANCE WITH THE SPECIFICATIONS OF KCMO APWA AND THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE DELIVERY MANAGER AND COORDINATING ANY MAILBOXES THAT MAY BE DISTURBED. FAILURE TO DO SO MAY SUBJECT THE CONTRACTOR TO PROSECUTION BY THE FEDERAL GOVERNMENT.

### EXISTING CONDITIONS

- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS OF THE PROJECT AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING THEIR OWN INVESTIGATIONS AND MAKING THEIR OWN ASSUMPTIONS REGARDING SITE SURFACE AND SUBSURFACE CONDITIONS. THIS INCLUDES THE LOCATION AND CONSISTENCY OF ANY EXISTING ROCK LAYERS UNDERLYING THE PROJECT SITE. CONTACT THE ENGINEER REGARDING ANY DISCREPANCIES THAT MAY AFFECT THE ABILITY TO CONSTRUCT FROM THESE PLANS AS DESIGNED.
- EXISTING CONDITIONS WERE DETERMINED THROUGH A VARIETY OF METHODS THAT MAY INCLUDE SURVEY, AERIAL IMAGERY, AVAILABLE RECORDS, GIS DATA, ETC. SUBSURFACE CONDITIONS ARE APPROXIMATE AND MAY NOT INCLUDE ALL UTILITIES AND OTHER SITE IMPROVEMENTS PRESENT ON SITE. THE CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS WHEN CONFLICTS AND DISCREPANCIES ARE FOUND.

### CONSTRUCTION

- THE CONTRACTOR SHALL INSTALL TRAFFIC CONTROL WHILE WORKING IN THE PUBLIC RIGHT-OF-WAY AS SHOWN IN THESE PLANS. IF PLANS ARE NOT PROVIDED, CONTRACTOR SHALL COORDINATE AND PROVIDE CONTROLS TO THE SATISFACTION OF THE RIGHT-OF-WAY OWNER.
- THE CONTRACTOR SHALL PROTECT ALL TREES OVER 3" CALIPER FROM DAMAGE. NO TREE SHALL BE REMOVED WITHOUT PERMISSION OF THE OWNER, UNLESS SHOWN OTHERWISE ON THESE PLANS.
- IN ADDITION TO THE CONDITIONS OF THE GEOTECHNICAL REPORT AND AS A MINIMUM THE CONTRACTOR SHALL PERFORM THE GRADING AS FOLLOWS:
  - THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. STRIPPING EXISTING TOPSOIL AND ORGANIC MATTER SHALL BE TO A MINIMUM DEPTH OF 6 INCHES. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE IN AREAS DESIGNATED BY THE OWNER. CONTRACTOR SHALL REMOVE EXCESS STRIPPINGS AND EXCESS EXCAVATION WITHIN 30 DAYS OF COMPLETION OF GRADING OPERATIONS.
  - AREAS TO RECEIVE FILL AND AREAS CUT TO SUBGRADE LEVEL SHALL BE SCARIFIED AND THE TOP 8-INCH DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. THE SUBGRADE SHALL BE PROOF ROLLED WITH A MODERATELY HEAVY LOADED DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.
  - FILL SHALL BE PLACED IN MAXIMUM OF 8 INCH LIFTS.
  - TOPSOIL SHALL BE PLACED TO A MINIMUM DEPTH OF 6 INCHES OVER ALL AREAS DISTURBED BY THE WORK. LARGE STONES, STICKS AND LUMPS SHALL BE REMOVED OR BROKEN UP, AND THE TOPSOIL SHALL BE LEVELED AND RAKED. ALL DISTURBED AREAS SHALL BE LANDSCAPED PER LANDSCAPE PLANS OR SHALL BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED.
  - CONTRACTOR SHALL PROVIDE COMPACTION TEST RESULTS AS REQUIRED.
- THE CONTRACTOR SHALL DISPOSE ALL WASTE MATERIAL RESULTING FROM THE PROJECT OFF-SITE AND IN STRICT CONFORMANCE WITH ALL LOCAL CODES AND ORDINANCES.
- ALL MANHOLES, CATCH BASINS, UTILITY VALVES AND METER PITS ARE TO BE ADJUSTED OR REBUILT TO GRADE AS REQUIRED. NOT ALL ADJUSTMENTS ARE INDICATED IN THE PLANS.
- THE CONTRACTOR SHALL STREET SWEEP OR OTHERWISE CLEAN ALL ACCESS ROUTES TO THE SITE AT CONCLUSION OF THE PROJECT.

### SHOP DRAWINGS

- THE CONTRACTOR SHALL SUBMIT SHOP DRAWING A MINIMUM OF 7 DAYS PRIOR TO THE REQUESTED DATE OF APPROVAL. ENGINEER SHALL REVIEW SHOP DRAWINGS OR SAMPLES CONFORMANCE WITH THE DESIGN FOR THIS PROJECT AS DESCRIBED IN THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ERRORS OR OMISSIONS IN SHOP DRAWINGS. THE ENGINEER'S REVIEW SHALL NOT EXTEND TO MEANS OR METHODS OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY VARIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS UNLESS CONTRACTOR HAS NOTIFIED ENGINEER OF EACH SUCH VARIATION AT THE TIME OF SUBMISSION, AND OBTAINED ENGINEER'S WRITTEN APPROVAL OF EACH SUCH VARIATION. PRIOR TO SUBMITTING EACH SHOP DRAWING OR SAMPLE, CONTRACTOR SHALL HAVE REVIEWED AND VERIFIED:
  - ALL FIELD MEASUREMENTS, QUANTITIES, DIMENSIONS, SPECIFIED PERFORMANCE CRITERIA, INSTALLATION REQUIREMENTS, MATERIALS, CATALOG NUMBERS AND SIMILAR INFORMATION WITH RESPECT THERETO;
  - ALL MATERIALS WITH RESPECT TO INTENDED USE, FABRICATION, SHIPPING, HANDLING, STORAGE, ASSEMBLY AND INSTALLATION PERTAINING TO THE PERFORMANCE OF THE WORK;
  - ALL INFORMATION RELATIVE TO MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION AND SAFETY PRECAUTIONS AND PROGRAMS INCIDENT THERETO;
  - CONTRACTOR SHALL ALSO HAVE REVIEWED AND COORDINATED EACH SHOP DRAWING OR SAMPLE WITH OTHER SHOP DRAWINGS AND SAMPLES, AND WITH THE REQUIREMENTS OF THE WORK AND THE CONTRACT DOCUMENTS.
  - ALL SUBMITTED SHOP DRAWINGS SHALL BEAR A STAMP OR SPECIFIC WRITTEN INDICATION AND SIGNATURE THAT CONTRACTOR HAS FULLY COMPLETED THE ABOVE TASKS.
- SHOP DRAWINGS AS DESCRIBED ABOVE ARE REQUIRED FOR, BUT NOT LIMITED TO, THE FOLLOWING:
  - ALL STORM SEWER STRUCTURES TO BE INSTALLED WITH THIS PROJECT.
  - ALL SANITARY SEWER STRUCTURES TO BE INSTALLED WITH THIS PROJECT.
  - ALL SITE FENCING AND RAILING INCLUDING ANY GATES.
  - ALL LANDSCAPE AND RETAINING WALLS.
  - ANY ITEMS IN THESE PLANS THAT ALLOW FOR AN APPROVED EQUAL ALTERNATIVE.

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REVISIONS DESCRIPTION

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COVER SHEET

CPC OF MO SMITHVILLE CULTIVATION  
CONSTRUCTION DOCUMENTS

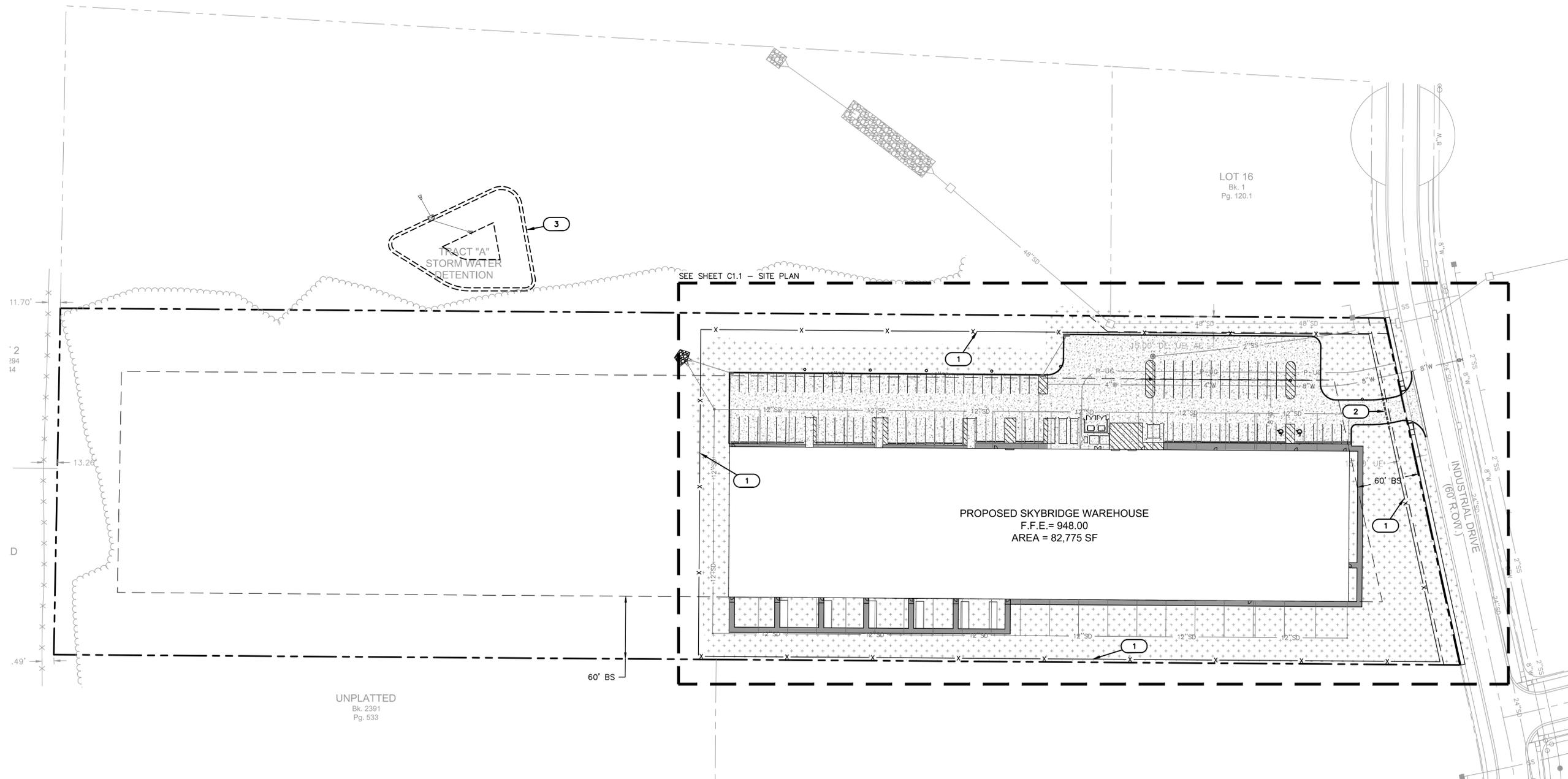
SMITHVILLE, MO

2021

drawn by: CSM  
checked by: CSM  
approved by: TMA  
QA/QC by: TMA  
project no.: A21-03223  
drawing no.: C\_TTL01\_A2103223  
date: 04.27.2021

SHEET  
C0.0

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UNPLATTED  
 Bk. 2391  
 Pg. 533

LOT 16  
 Bk. 1  
 Pg. 120.1

SEE SHEET C1.1 - SITE PLAN

PROPOSED SKYBRIDGE WAREHOUSE  
 F.F.E. = 948.00  
 AREA = 82,775 SF

**LEGEND**

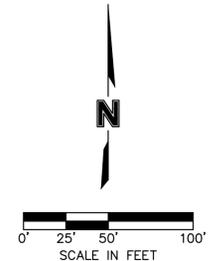
- — — — — PROPERTY BOUNDARY
- — — — — PROPERTY LINE
- — — — — EASEMENT LINE
- — — — — SETBACK LINE
- — — — — EXISTING ROAD
- w — — — — — EXISTING WATER LINE
- SD — — — — — EXISTING STORM SEWER
- SS — — — — — EXISTING SANITARY SEWER
- — — — — — EXISTING STORM STRUCTURE
- — — — — — EXISTING SANITARY STRUCTURE

**EASEMENT LEGEND**

- AE — ACCESS EASEMENT
- UE — UTILITY EASEMENT
- DE — DRAINAGE EASEMENT
- BS — BUILDING SETBACK

**KEYNOTES:**

- 1 PROPOSED PERIMETER FENCING (REFERENCE DETAIL SHEET C5.1)
- 2 PROPOSED CANTILEVER GATE (REFERENCE DETAIL SHEET C5.0)
- 3 PROPOSED DETENTION BASIN (REFERENCE SHEET C2.1)



OVERALL SITE PLAN

CPC OF MO SMITHVILLE CULTIVATION  
 CONSTRUCTION DOCUMENTS

SMITHVILLE, MO

drawn by: CSM  
 checked by: CSM  
 approved by: TMA  
 QA/QC by: TMA  
 project no.: A21-03223  
 drawing no.: C\_SIT01\_A2103223  
 date: 04.27.2021

SHEET  
 C1.0

REVISIONS DESCRIPTION

DATE

REV. NO.

REVISIONS

2021

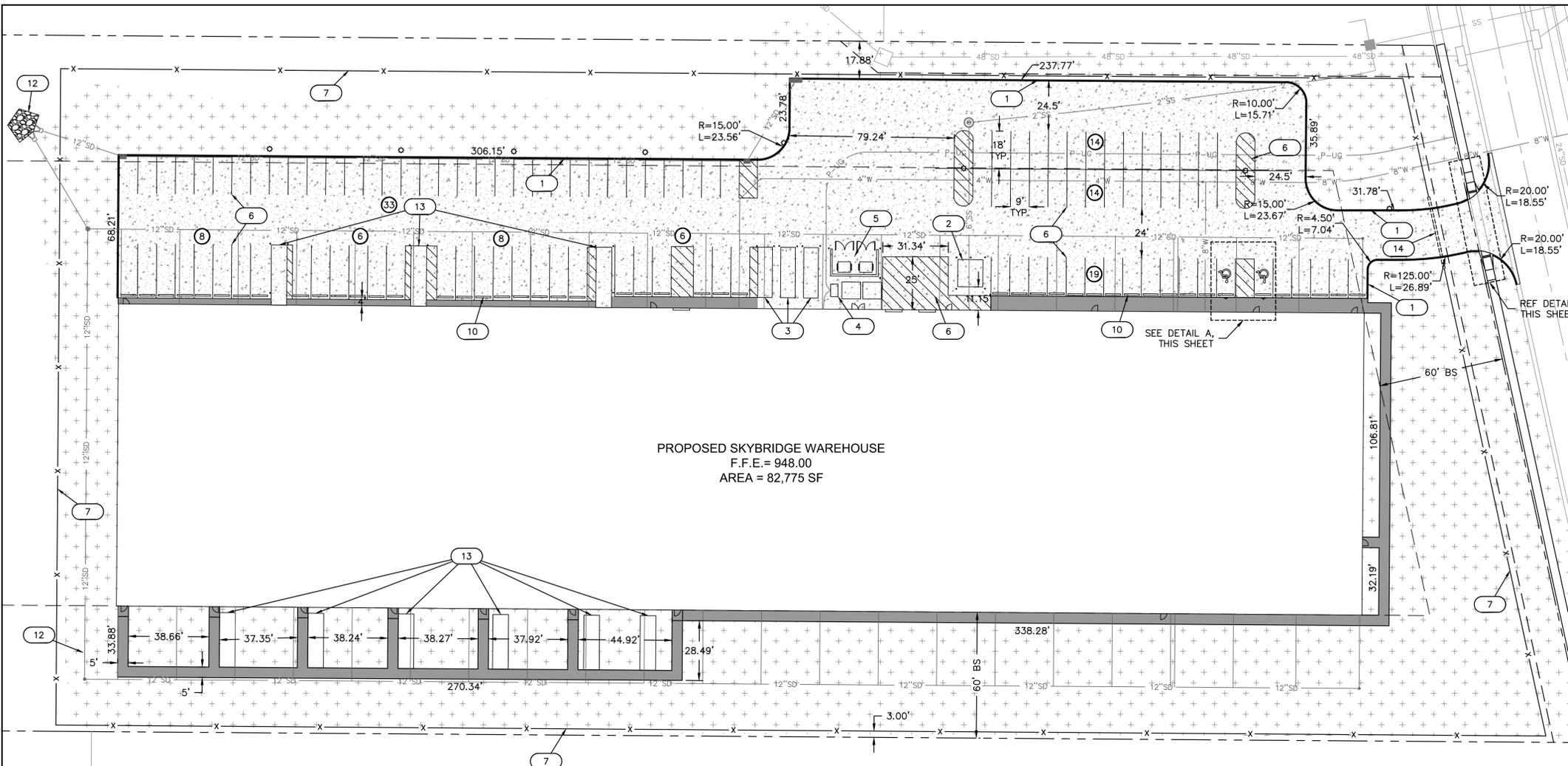
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**PROPOSED SKYBRIDGE WAREHOUSE**  
 F.F.E. = 948.00  
 AREA = 82,775 SF

**SITE PLAN LEGEND**

- PROPOSED HEAVY DUTY CONCRETE PAVEMENT (REF: DETAIL SHEET C5.0)
- PROPOSED CONCRETE SIDEWALK (REF: DETAIL SHEET C5.0)
- PROPOSED LANDSCAPE AREA (REF: LANDSCAPE PLAN FOR ADDITIONAL INFORMATION)
- PARKING STALL COUNT

**LEGEND**

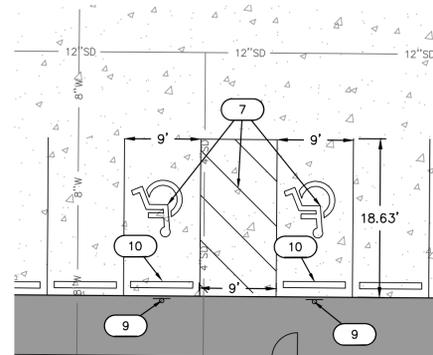
- PROPERTY BOUNDARY
- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- EXISTING ROAD
- EXISTING WATER LINE
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING STORM STRUCTURE
- EXISTING SANITARY STRUCTURE

**EASEMENT LEGEND**

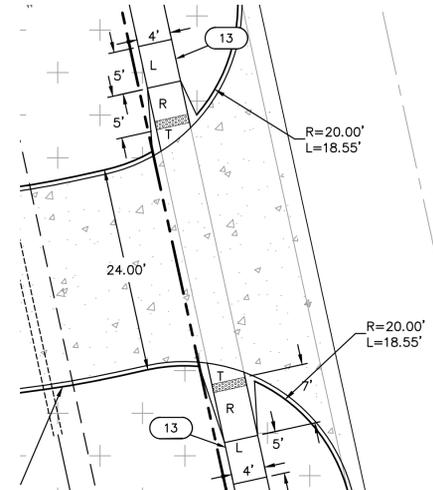
- AE - ACCESS EASEMENT
- UE - UTILITY EASEMENT
- DE - DRAINAGE EASEMENT
- BS - BUILDING SETBACK

**KEYNOTES:**

- 1 PROPOSED STANDARD CURB (REF DETAIL SHEET C5.0)
- 2 PROPOSED CO2 TANK AND ENCLOSURE
- 3 PROPOSED GENERATOR (24' X 7' TYP.)
- 4 PROPOSED ELECTRIC TRANSFORMER
- 5 PROPOSED TRASH ENCLOSURE (REF ARCHITECTURAL PLANS)
- 6 PROPOSED WHITE PAVEMENT MARKINGS (CONFORM TO MUTCD LATEST VERSION)
- 7 PROPOSED PERIMETER FENCING (REFERENCE DETAIL SHEET C5.1)
- 8 PROPOSED BOLLARD (REF DETAIL SHEET C5.0)
- 9 PROPOSED ADA PARKING SIGN (REF DETAIL SHEET C5.0)
- 10 PROPOSED PARKING BLOCK. TYPICAL FOR PARKING SPACES ADJACENT TO BUILDING. (REF DETAIL SHEET C5.0)
- 11 PROPOSED HVAC UNIT (REF ARCHITECTURAL PLANS)
- 12 PROPOSED RIP RAP (REF EROSION CONTROL SHEET C4.0)
- 13 ADA CURB RAMP (REF APWA TYPE A SIDEWALK RAMP)
- 14 CANTILEVER GATE (REF DETAIL SHEET C5.0)



**DETAIL A**  
SCALE: 1"=10'



**DETAIL B**  
SCALE: 1"=10'

**DETAIL B LEGEND**

- T - ADA TRANSITION ZONE
- R - ADA RAMP
- L - ADA LANDING

**SITE PLAN NOTES**

1. ALL PAVEMENT DIMENSIONS ARE TO BACK OF CURB, OR EDGE OF PAVEMENT WHERE NO CURB IS PRESENT, UNLESS OTHERWISE NOTED. DIMENSIONED TIES BETWEEN PROPERTY LINES AND BUILDING FACES OR PAVEMENT ARE AS INDICATED. THE CONTRACTOR IS RESPONSIBLE FOR MAKING ANY ADJUSTMENTS NECESSARY FOR FOUNDATIONS, BEDDING EXTENSIONS, SURCHARGING, ETC.
2. INSTALLED PAVEMENT SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT TO PROVIDE SMOOTH SURFACE TRANSITIONS. INSTALLED CURB & GUTTER SHALL MATCH EXISTING CURB & GUTTER IN SIZE AND TYPE OR CONTRACTOR SHALL INCLUDE A TRANSITION FROM NEW TO EXISTING OF NO LESS THAN 5' AS MEASURED ALONG BACK OF CURB.
3. ALL ASPHALT PAVING SHALL BE IN CONFORMANCE WITH ALL LOCAL CODES AND ORDINANCES AND THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. WHERE NOT COVERED BY THE ABOVE, ASPHALT PAVING SHALL BE IN CONFORMANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF MISSOURI DEPARTMENT OF TRANSPORTATION.
4. ALL PCC PAVING SHALL BE IN CONFORMANCE WITH LOCAL CODES AND ORDINANCES AND THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. WHERE NOT COVERED BY THE ABOVE, PCC PAVING SHALL BE IN CONFORMANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF MISSOURI DEPARTMENT OF TRANSPORTATION.
5. CONCRETE PAVEMENT JOINTS SHALL BE CONSTRUCTED AS FOLLOWS (REFER TO HARDSCAPE PLANS FOR SPECIFIC TREATMENT OF THESE AREAS):
  - A. CONTROL JOINTS SPACED AS SHOWN IN THESE PLANS OR AT INTERVALS NOT GREATER THAN 1.5x PANEL WIDTH OR 12 FEET (WHICHEVER IS SMALLER).
  - B. CONTROL JOINTS SHALL BE TOOLED OR SAWCUT TO 1/4 THE SLAB THICKNESS. LOCAL STANDARDS AND SPECIFICATIONS SHALL TAKE PRECEDENCE WHERE MORE STRICT THAN THOSE LISTED HERE.
  - C. CONSTRUCTION JOINTS PLACED AT THE END OF EACH POUR AND WHEN PAVING OPERATIONS ARE SUSPENDED FOR 30 MINUTES OR MORE.
  - D. ISOLATION JOINTS PLACED WHERE THE PAVEMENT ABUTS THE BUILDING, DRAINAGE STRUCTURES AND OTHER FIXED STRUCTURES, CONSTRUCTED WITH A 1/2" NON-EXTRUDING FILLER, CLOSED-CELL FOAM RUBBER OR A BITUMEN-TREATED FIBER-BOARD, AND WITH A THICKENED EDGE, INCREASED BY 20 PERCENT, TAPERED TO THE REGULAR THICKNESS IN 5 FEET.
  - E. ALL EXPANSION JOINTS SHALL BE FILLED AND SEALED WITH A PLASTIC JOINT SEALANT MATERIAL.
6. ACCESSIBLE PARKING
  - A. STALLS SHALL BE SIGNED WITH CITY/ADA APPROVED SIGN AND CONSTRUCTED IN STRICT ACCORDANCE WITH CITY/ADA CODES AND ORDINANCES.
  - B. ACCESSIBLE PARKING STALLS SHALL NOT EXCEED 2.00 PERCENT IN ANY DIRECTION. ACCESSIBLE SIDEWALKS HAVE A MAXIMUM CROSS SLOPE OF 2 PERCENT AND A MAXIMUM LONGITUDINAL SLOPE OF 5 PERCENT.
  - C. STALLS SHALL BE MARKED BY THE INTERNATIONAL HANDICAPPED SYMBOL AT INDICATED PARKING SPACES. USE A SUITABLE TEMPLATE THAT WILL PROVIDE A PAVEMENT MARKING WITH SHARP EDGES AND ENDS.
7. PAVEMENT MARKINGS SHALL NOT BE APPLIED UNTIL LAYOUT, COLORS AND PLACEMENT HAVE BEEN VERIFIED WITH THE ARCHITECT AND ENGINEER. THE INSTALLED PAVEMENT IS ALLOWED TO AGE AS RECOMMENDED BY THE MANUFACTURER (MINIMUM OF 24 HOURS), AND THE PAVEMENT SURFACE HAS BEEN SWEEPED AND CLEANED.
8. PAVEMENT MARKINGS SHALL INCLUDE TRAFFIC LANES, PARKING BAYS, AREAS RESTRICTED TO HANDICAPPED PERSONS, CROSSWALKS, AND OTHER DETAIL PAVEMENT MARKINGS SHOWN IN THESE PLANS.
9. ALL PARKING LOT STRIPING SHALL BE SINGLE LINE 4" WIDE WHITE STRIPES UNLESS OTHERWISE INDICATED WITHIN THESE PLANS. ALL ROAD STRIPING SHALL BE AS INDICATED WITHIN THESE PLANS.
10. CURBS AT FIRE LANES AS DESIGNATIONS BY THE FIRE MARSHAL SHALL BE PAINTED OR OTHERWISE INDICATED PER CITY OF CITY CODES AND ORDINANCES.
11. PAINT FOR MARKING PAVEMENT SHALL CONFORM TO FEDERAL HIGHWAY MARKING STANDARDS (FHMS) AND CITY OF CITY CODES AND ORDINANCES. USE FLAT BLACK, WHITE, OR YELLOW AS DIRECTED WITHIN PLANS OR IN CONFORMANCE WITH THE FHMS. UNLESS OTHERWISE SPECIFIED USE LATEX, WATER-BASE EMULSION, READY-MIXED, COMPLYING WITH FS TT-P-1952 WITH DRYING TIME OF LESS THAN 45 MINUTES.
12. APPLY ALL MARKINGS USING APPROVED MECHANICAL EQUIPMENT (WITH PROVISIONS FOR CONSTANT AGITATION OF PAINT), CAPABLE OF APPLYING THE MARKING WIDTHS AS SHOWN AND A MINIMUM WET FILM THICKNESS OF 15 MILS. USE PNEUMATIC SPRAY GUNS FOR HAND APPLICATION OF PAINT. ALL PAINTING EQUIPMENT AND OPERATIONS SHALL BE UNDER THE CONTROL OF EXPERIENCED TECHNICIANS THOROUGHLY FAMILIAR WITH EQUIPMENT AND MATERIALS AND MARKING LAYOUTS.

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REV. NO.	DATE	REVISIONS DESCRIPTION

SITE PLAN

2021

CPC OF MO SMITHVILLE CULTIVATION  
CONSTRUCTION DOCUMENTS

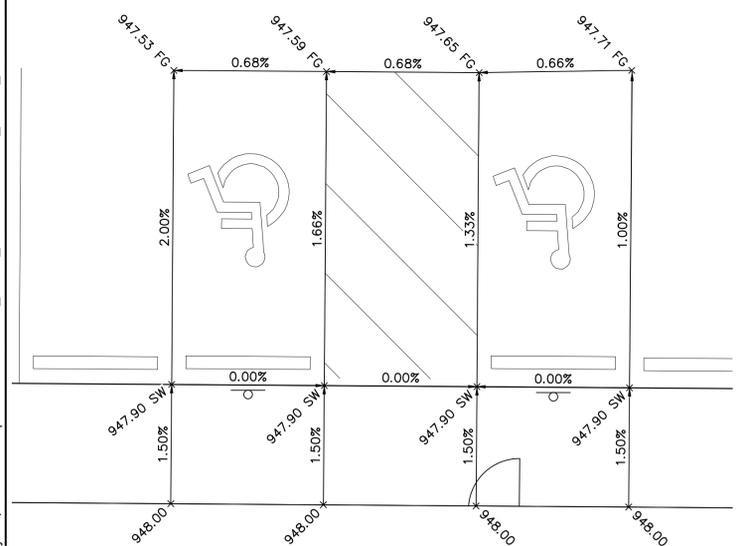
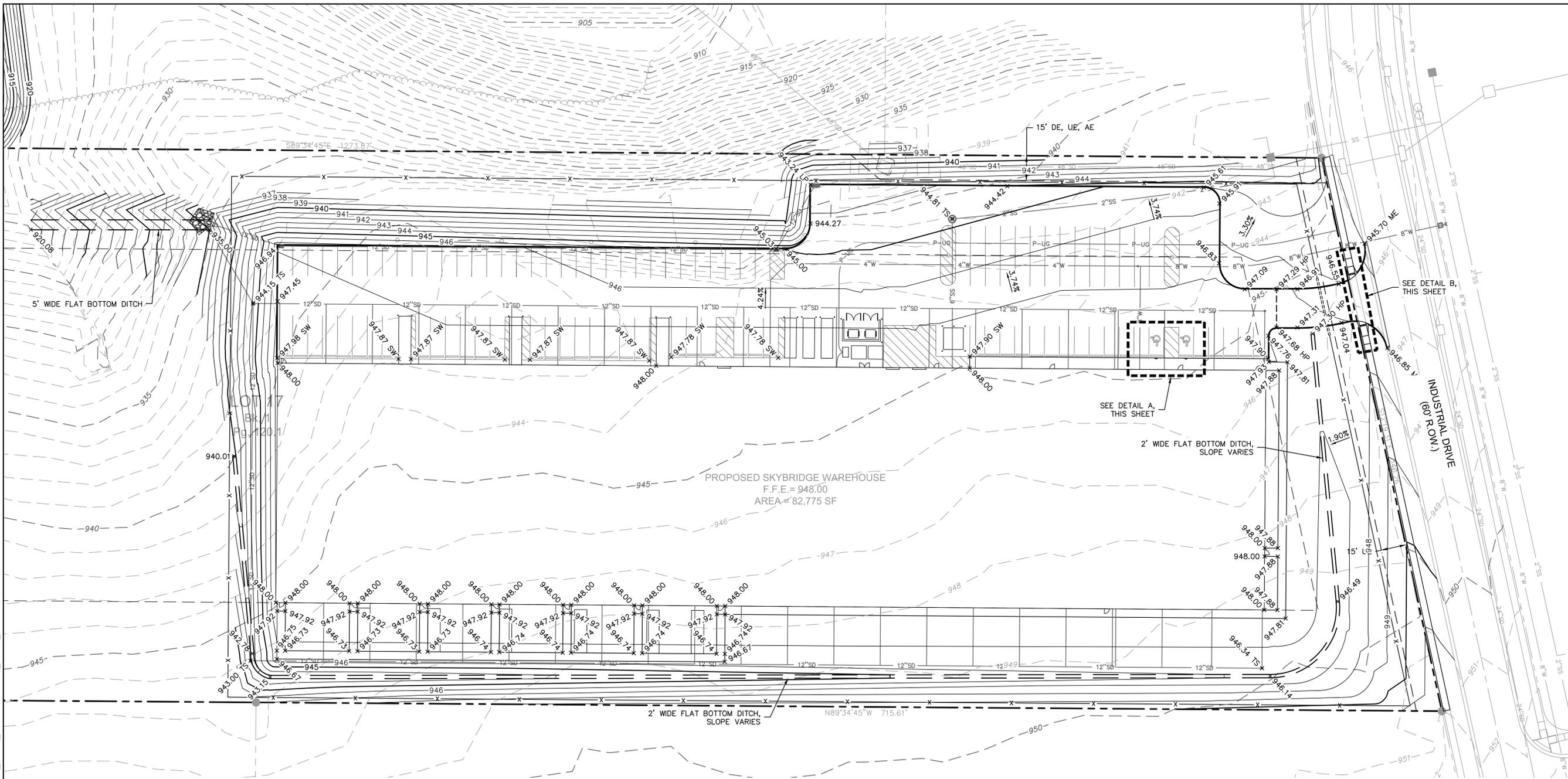
SMITHVILLE, MO

drawn by: CSM  
 checked by: CSM  
 approved by: TMA  
 QA/QC by: TMA  
 project no.: A21-03223  
 drawing no.: C\_SIT01\_A2103223  
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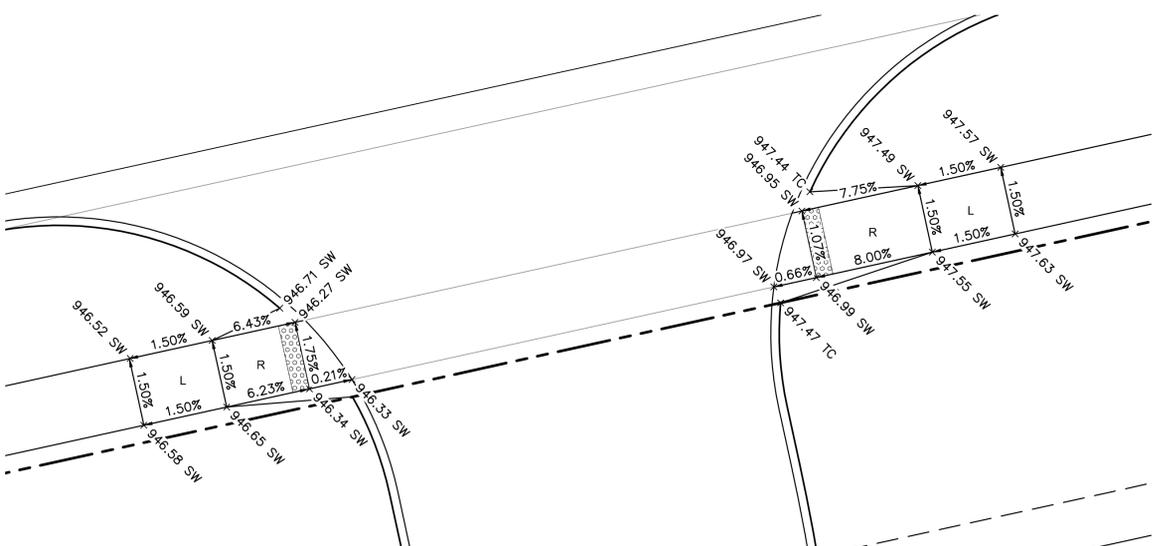
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 C\_PBASE\_A2103223  
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**DETAIL A**  
SCALE: 1"=5'



**DETAIL B**  
SCALE: 1"=5'

**GRADING PLAN NOTES**

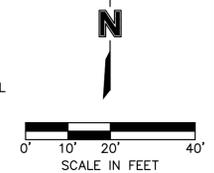
1. THE CONTOUR LINES, SPOT ELEVATIONS AND BUILDING FLOOR ELEVATIONS SHOWN ARE TO FINISH GRADE, SURFACE OF PAVEMENT, TOP OF CURBS, ETC. REFER TO TYPICAL SECTIONS FOR PAVING, SLAB AND AGGREGATE BASE THICKNESS TO DEDUCT PAVEMENT DEPTH FROM ELEVATIONS SHOWN.
2. THE CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN NO STEEPER THAN 1 FOOT VERTICAL IN 3 FEET HORIZONTAL.
3. THE CONTRACTOR SHALL GRADE LANDSCAPED AREAS TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND SIDEWALKS WHEN FINISH LANDSCAPE MATERIALS ARE IN PLACE.
4. SPOT ELEVATIONS ARE TO EDGE OF PAVEMENT, LIP OF CURB, OR FINISHED GRADE UNLESS OTHERWISE INDICATED. (SEE LEGEND)

**LEGEND**

EXISTING	PROPOSED
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**SPOT ELEVATION ABBREVIATIONS**

XX.XX	SLOPE
FG	FINISHED GRADE
ME	MATCH EXISTING
TW	TOP OF RETAINING WALL
BW	BOTTOM OF RETAINING WALL
SW	TOP OF SIDEWALK
PV	TOP OF PAVEMENT
TC	TOP OF CURB



**GRADING PLAN**

CPC OF MO SMITHVILLE CULTIVATION  
CONSTRUCTION DOCUMENTS

SMITHVILLE, MO

drawn by: CSM  
 checked by: CSM  
 approved by: TMA  
 QA/QC by: TMA  
 project no.: A21-03223  
 drawing no.: C\_GRD01\_A2103223  
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**SHEET**  
C2.1

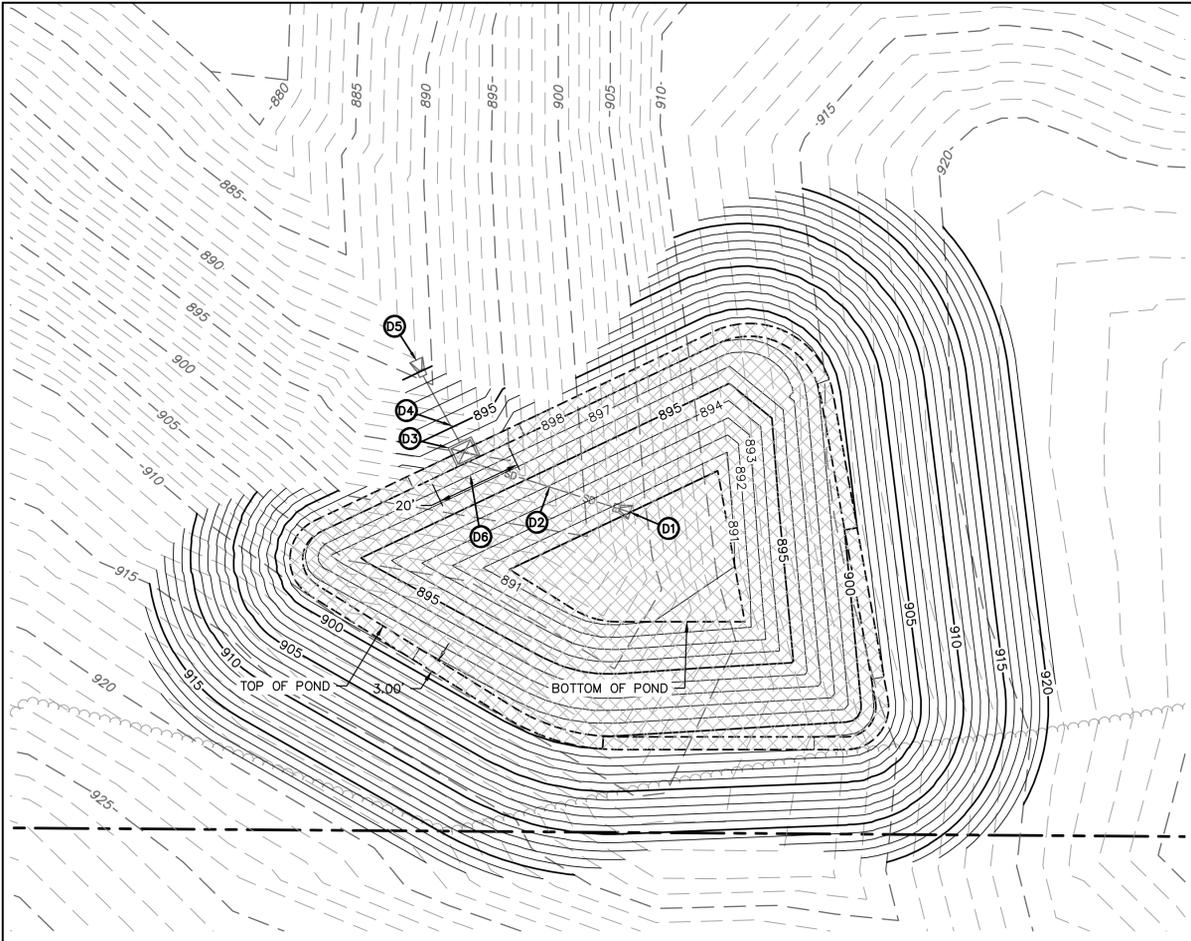
REV. NO.	DATE	REVISIONS DESCRIPTION

2021

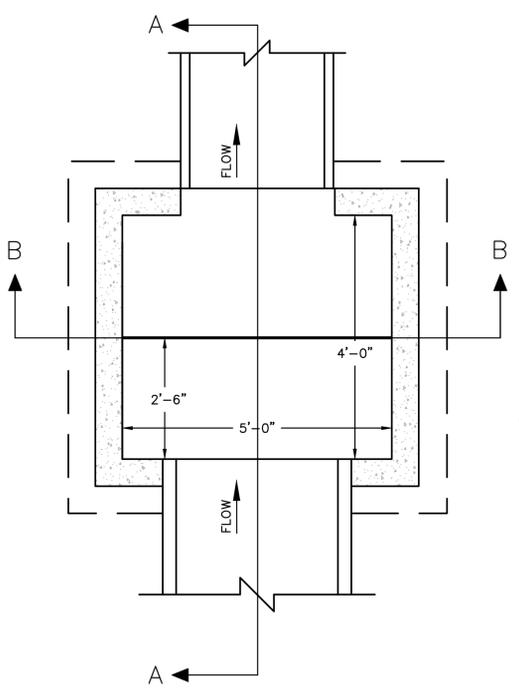
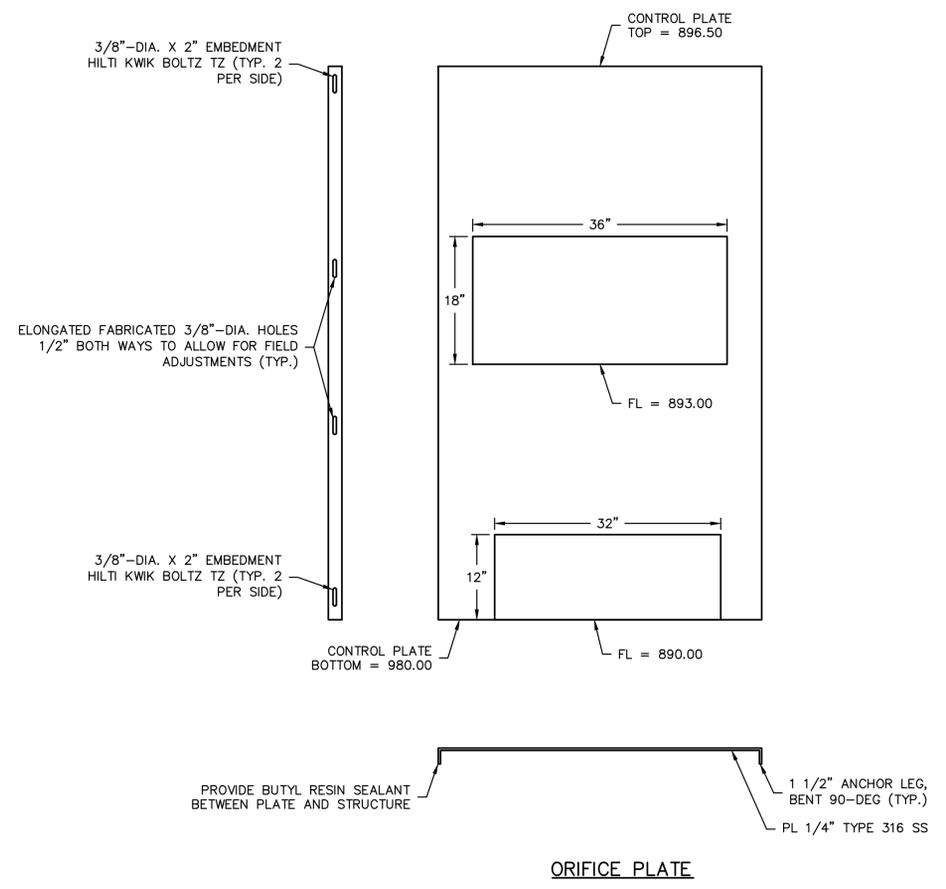
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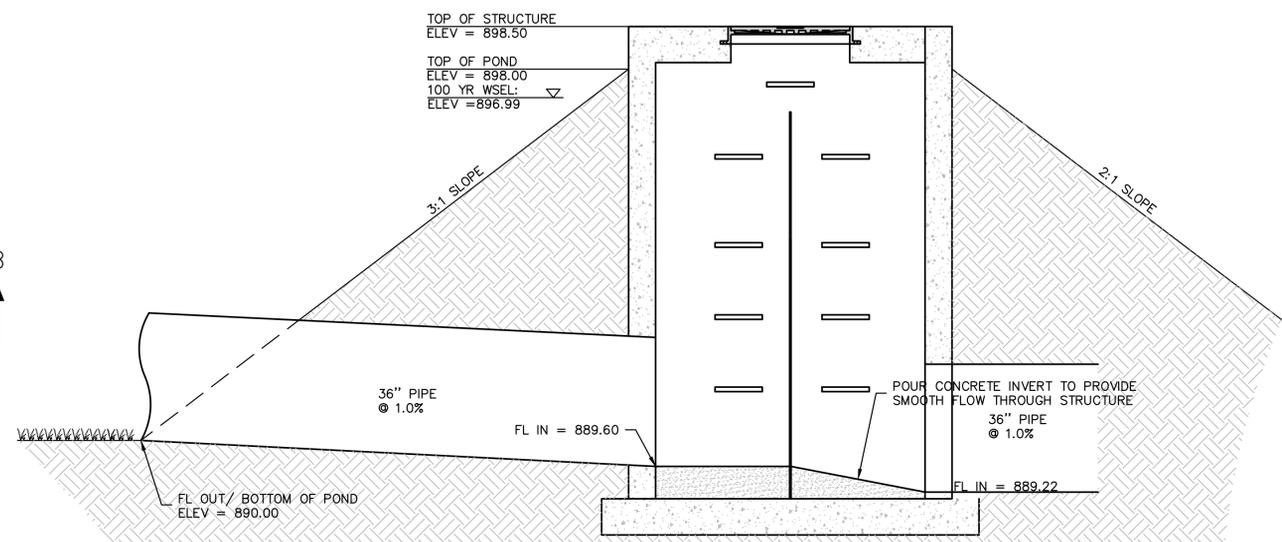
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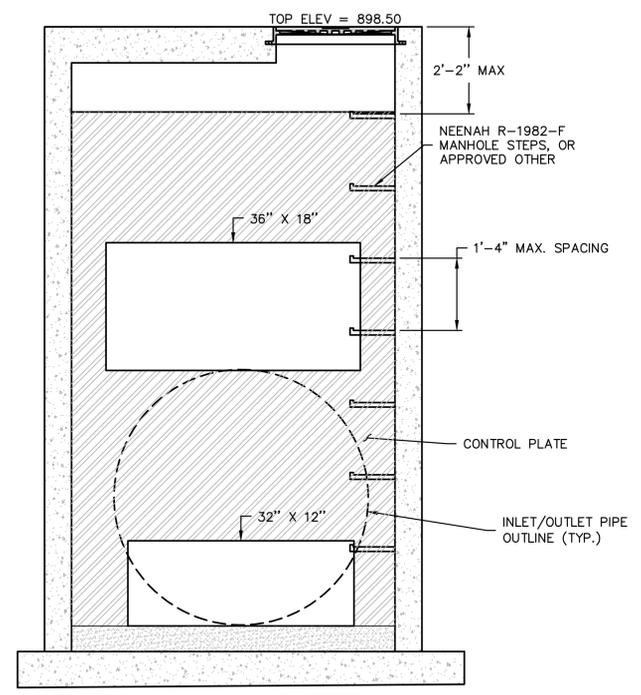
- LEGEND**
- POND - 9,523 SF AREA
- STORM SEWER KEYNOTES**
- D1 INSTALL 36" FLARED END SECTION. INV IN=890.00
  - D2 INSTALL 40 LF OF 36" HDPE @ 1.00%
  - D3 INSTALL OUTLET STRUCTURE, SEE DETAIL THIS SHEET.
  - D4 INSTALL 22 LF OF 36" HDPE @ 1.00%
  - D5 INSTALL 36" FLARED END SECTION. INV OUT=889.00
  - D6 INSTALL 20' WIDE EMERGENCY OVERTFLOW INV. 897.00



OUTLET STRUCTURE  
 PLAN VIEW



SECTION A-A



SECTION B-B

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DETENTION BASIN PLAN

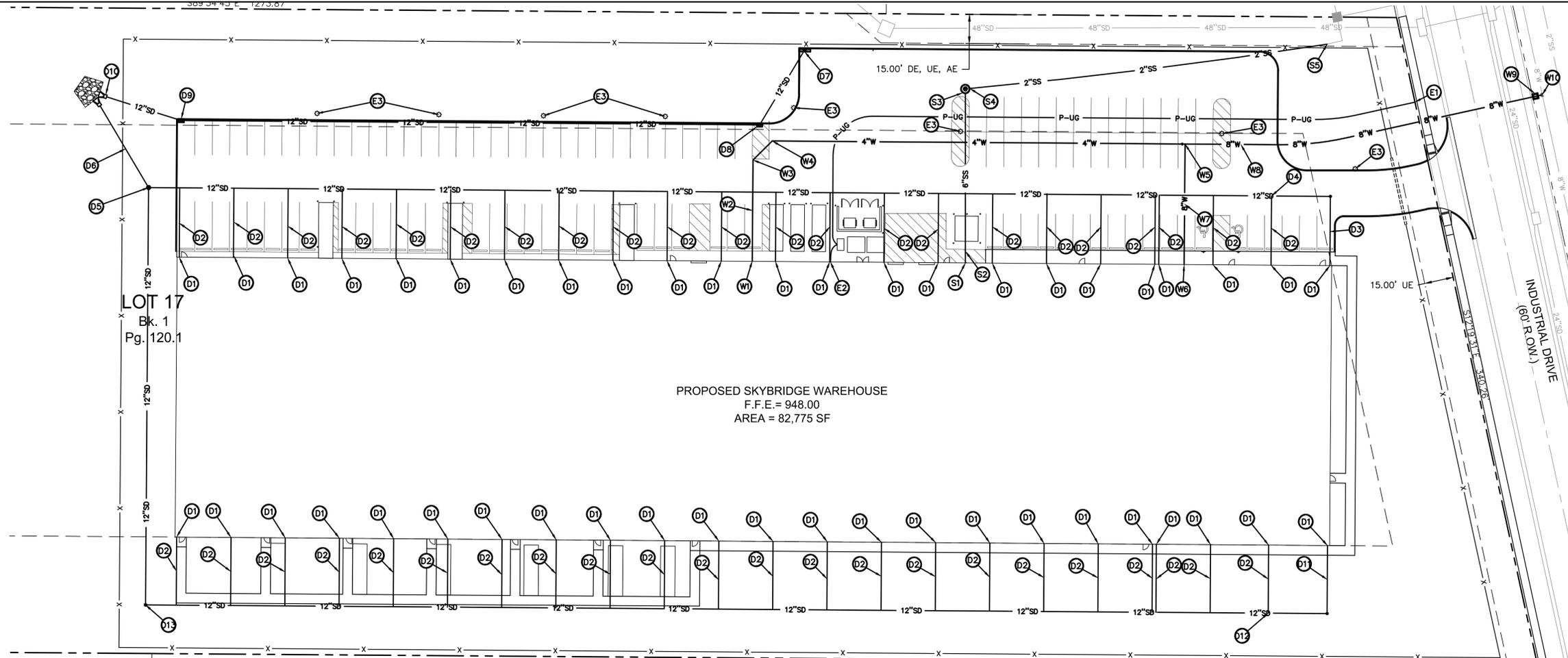
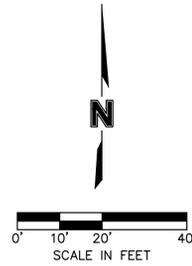
CPC OF MO SMITHVILLE CULTIVATION  
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SMITHVILLE, MO

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2021

SHEET  
 C2.2



PROPOSED SKYBRIDGE WAREHOUSE  
 F.F.E. = 948.00  
 AREA = 82,775 SF

**SANITARY SEWER KEYNOTES**

- (S1) SANITARY SEWER LOCATION AT BUILDING CONNECTION, REFERENCE MEP PLANS FOR CONINUATION
- (S2) INSTALL 90 LF OF 6" SCHEDULE 40 PVC PRIVATE GRAVITY SANITARY SEWER LINE @ 1.0% MINIMUM.
- (S3) INSTALL 48" SANITARY SEWER GRINDER PUMP AND LIFT STATION PER STANDARDS AND SPECIFICATIONS.
- (S4) INSTALL 188 LF OF 2" SCHEDULE 40 PVC FORCEMAIN PRIVATE SANITARY SEWER LINE
- (S5) CONNECT TO EXISTING SANITARY SEWER CHECK VALVE PER KCMO APWA STANDARDS. INV = 940.62. CONTRACTOR TO VERIFY EXISTING SANITARY MAIN INVERT AND NOTIFY ENGINEER OF ANY DISCREPANCIES. REFERENCE PUBLIC SANITARY PLANS FOR DETAILS.

**WATER KEYNOTES**

- (W1) DOMESTIC WATER LINE LOCATION AT BUILDING CONNECTION, REFERENCE MEP PLANS FOR CONINUATION.
- (W2) INSTALL 52 LF OF 4" PRIVATE WATER LINE PER KCMO APWA STANDARDS AND SPECIFICATIONS.
- (W3) INSTALL 45" BEND AND 14 LF OF 4" PRIVATE WATER LINE PER KCMO APWA STANDARDS AND SPECIFICATIONS.
- (W4) INSTALL 45" BEND AND 213 LF OF 4" PRIVATE WATER LINE PER KCMO APWA STANDARDS AND SPECIFICATIONS.
- (W5) INSTALL 4"x8"x8" TEE CONNECTION PER KCMO APWA STANDARDS AND SPECIFICATIONS.
- (W6) FIRE WATER LINE LOCATON AT BUILDING CONNECTION, REFERENCE MEP PLANS FOR CONINUATION.
- (W7) INSTALL 52 LF OF 8" PRIVATE WATER LINE PER KCMO APWA STANDARDS AND SPECIFICATIONS.
- (W8) INSTALL 182 LF OF 8" PRIVATE WATER LINE PER KCMO APWA STANDARDS AND SPECIFICATIONS.
- (W9) INSTALL CURB STOP PER KCMO APWA STANDARDS AND SPECIFICATIONS. COORDINATE WITH CITY WATER DEPARTMENT BEFORE INSTALLING.
- (W10) CONNECT TO EXISTING WATER MAIN WITH GATE VALVE PER KCMO APWA STANDARDS AND SPECIFICATIONS. REFERENCE DETAIL SHEET C5.0. COORDINATE WITH CITY WATER DEPARTMENT BEFORE INSTALLING.

**STORM SEWER KEYNOTES**

- (D1) CONNECT TO BUILDING ROOF DRAINS. INV OUT = 943.00, REF: ARCHITECTURAL PLANS FOR MORE INFORMATION
- (D2) INSTALL 35 LF OF 4" HDPE @ 1.00% PER KCMO APWA STANDARDS AND SPECIFICATIONS.
- (D3) INSTALL 35 LF OF 4" HDPE @ 1.00% AND 12" NYLOPAST DRAIN BASIN WITH SOLID H-20 TRAFFIC RATED LID. INV IN =942.65
- (D4) INSTALL 610 LF OF 12" HDPE @ 1.00% WITH INSERT-A-TEE CONNECTIONS AT EACH TEE CONNECTION.
- (D5) INSTALL 12" NYLOPAST DRAIN BASIN WITH SOLID H-20 TRAFFIC RATED LID. INV IN EAST = 936.55. INV IN SOUTH =936.88
- (D6) INSTALL 52 LF OF 24" HDPE @ 1.00% AND 18" FLARED END SECTION PER KCMO APWA STANDARDS AND SPECIFICATIONS. INV OUT=936.03
- (D7) INSTALL DOUBLE NYLOPLAST 2'X3' CURB INLET WITH HIGH FLOW GRATE ASSEMBLY. INV OUT= 939.78 AND 45 LF OF 12" HDPE @ 1.00%
- (D8) INSTALL NYLOPLAST 2'X3' CURB INLET WITH HIGH FLOW GRATE ASSEMBLY. INV IN= 939.33 AND 299 LF OF 12" HDPE @ 1.00%
- (D9) INSTALL NYLOPLAST 2'X3' CURB INLET WITH HIGH FLOW GRATE ASSEMBLY. INV IN= 936.34
- (D10) INSTALL 41 LF OF 12" HDPE @ 0.75% AND 18" FLARED END SECTION PER KCMO APWA STANDARDS AND SPECIFICATIONS. INV OUT= 936.03
- (D11) INSTALL 35 LF OF 4" HDPE @ 1.00% AND 12" NYLOPLAST DRAIN BASIN WITH DOME GRATE. INV IN=942.65
- (D12) INSTALL 610 LF OF 12" HDPE @ 0.70% WITH INSERT-A-TEE CONNECTIONS AT EACH TEE CONNECTION.
- (D13) INSTALL 18" NYLOPLAST DRAIN BASIN WITH DOME GRATE. INV IN= 938.38, AND 214 LF OF 12" HDPE @ 0.70%

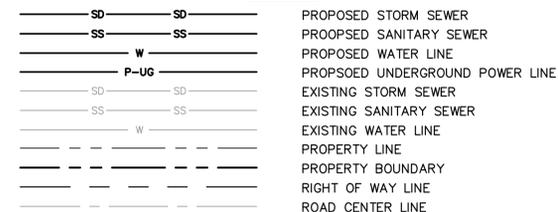
**ELECTRICAL KEYNOTES**

- (E1) CONNECT TO EXISTING POWER SOURCE, COORDINATE WITH UTILITY PROVIDER
- (E2) INSTALL PVC CONDUIT FOR PRIMARY ELECTRICAL SERVICE PER UTILITY COMPANY STANDARDS AND SPECIFICATIONS. COORDINATE WITH UTILITY COMPANY BEFORE INSTALLING.
- (E3) PROPOSED LIGHT POLE LOCATIONS, REFERENCE MEP PLANS FOR DETAILS.

**SANITARY SEWER PLAN NOTES**

1. PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL NOTIFY AND COORDINATE CONSTRUCTION WITH SMITHVILLE, MO.
2. ALL PIPE LENGTHS ARE CALCULATED LINEARLY FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
3. COORDINATES ARE PROVIDED AT THE CENTER OF STRUCTURE. ADDITIONAL COORDINATES PROVIDED ARE PER LOCAL CODES AND ORDINANCES OR AS AN AID WHEN ORIENTING THE LID DURING INSTALLATION.
4. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICT AND POINTS OF CONNECTION PRIOR TO ANY CONSTRUCTION OF SANITARY SEWER.
5. SANITARY SEWER TRENCHES SHALL BE CONSTRUCTED SUCH THAT UNDISTURBED EXISTING SOIL OR FILL COMPACTED TO 95% PROCTOR DENSITY IS AT A DEPTH THAT IS 18" ABOVE TOP OF PROPOSED PIPE.
6. MANHOLE INVERT CHANNELS SHALL BE SMOOTH, CIRCULAR, AND CONFORMING TO 1/2 THE ADJACENT PIPE SECTION (INVERT TO CENTER). CHANGES IN DIRECTION OF FLOW SHALL BE MADE WITH A SMOOTH CURVE AND MAINTAIN SHAPE THROUGHOUT. CHANGES IN GRADE OF ADJACENT PIPES SHALL BE TRANSITIONED SMOOTHLY AND EVENLY THROUGH THE MANHOLE.
7. PIPE PENETRATIONS SHALL BE USE GASKETS TO ENSURE WATERTIGHT SEALS.
8. TRACING TAPE SHALL BE INSTALLED ALONG ALL NON-METALLIC SURFACES OR AS DIRECTED BY LOCAL CODES AND ORDINANCES.
9. SEWER LINE INSPECTIONS AND TESTING MUST BE SCHEDULED A MINIMUM OF TWO FULL BUSINESS DAYS IN ADVANCE. CONTRACTOR SHALL FURNISH ALL TESTING EQUIPMENT. TESTING SHALL INCLUDE
  - A. MANDREL TEST OF ALL GRAVITY SEWERS. IF THE MANDREL TEST FAILS ON ANY SECTION OF PIPE, THAT SECTION SHALL BE UNCOVERED AND REPLACED.
  - B. AIR PRESSURE TEST OF ALL GRAVITY SEWERS.
  - C. VACUUM TEST OF ALL MANHOLES.
10. GRAVITY SANITARY SEWER AND WATER LINES SHALL BE SEPARATED BY A MINIMUM OF 10" HORIZONTALLY WHEN PARALLEL AND 2' VERTICALLY WHEN CROSSING. WATER LINES SHALL CROSS ABOVE SANITARY SEWERS.

**LEGEND**



**WATER PLAN NOTES**

1. PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL NOTIFY AND COORDINATE CONSTRUCTION WITH UTILITY OWNER.
2. ALL PIPE LENGTHS ARE CALCULATED LINEARLY FROM CENTER OF FITTING OR WALL OF VAULT.
3. COORDINATES ARE PROVIDED ALONG PIPE CENTERLINE. ADDITIONAL COORDINATES PROVIDED ARE PER LOCAL CODES AND ORDINANCES OR AS AN AID WHEN ORIENTING INSTALLATIONS.
4. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICT AND POINTS OF CONNECTION PRIOR TO ANY CONSTRUCTION OF WATER.
5. WATER PIPE TRENCHES SHALL BE CONSTRUCTED SUCH THAT UNDISTURBED EXISTING SOIL OR FILL COMPACTED TO 95% PROCTOR DENSITY IS AT A DEPTH THAT IS 18" ABOVE TOP OF PROPOSED PIPE.
6. ALL PRIVATE WATER LINES SHALL BE A MINIMUM OF 48 INCHES AND MAXIMUM OF 60 INCHES BELOW THE FINISHED GRADE ELEVATIONS SHOWN HEREIN UNLESS OTHERWISE NOTED.
7. IF AN AS-BUILT OF A WATER LINE IS REQUIRED OR EXPECTED THE CONTRACTOR SHALL NOT BACKFILL THE TRENCH UNTIL AN AS-BUILT SURVEY IS CONDUCTED.
8. DISINFECTION AND PRESSURE TESTING OF WATER LINES SHALL BE PERFORMED AND PAID FOR BY THE CONTRACTOR AND AS REQUIRED BY THE UTILITY OWNER.
9. ALL EXISTING FIRE HYDRANTS ON SITE OR IN THE RIGHT-OF-WAY BETWEEN PROPERTY AND ROADWAY SHALL BE REPAINTED PER LOCAL CODES AND ORDINANCES.
10. TRACING TAPE SHALL BE INSTALLED ALONG ALL NON-METALLIC SURFACES OR AS DIRECTED BY LOCAL CODES AND ORDINANCES.

**STORM SEWER PLAN NOTES**

1. PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL NOTIFY AND COORDINATE CONSTRUCTION WITH SMITHVILLE, MO.
2. ALL PIPE LENGTHS AND ELEVATIONS ARE CALCULATED LINEARLY FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
3. COORDINATES ARE PROVIDED AT THE CENTER OF STRUCTURE. ADDITIONAL COORDINATES PROVIDED ARE PER LOCAL CODES AND ORDINANCES OR AS AN AID WHEN ORIENTING THE BOX DURING INSTALLATION.
4. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICT AND POINTS OF CONNECTION PRIOR TO ANY CONSTRUCTION OF STORM SEWER.
5. STORM SEWER TRENCHES SHALL BE CONSTRUCTED SUCH THAT UNDISTURBED EXISTING SOIL OR FILL COMPACTED TO 95% PROCTOR DENSITY IS AT A DEPTH THAT IS 18" ABOVE TOP OF PROPOSED PIPE.
6. STRUCTURE INVERT CHANNELS SHALL BE SMOOTH, CIRCULAR, AND CONFORMING TO 1/2 THE ADJACENT PIPE SECTION (INVERT TO CENTER). CHANGES IN DIRECTION OF FLOW SHALL BE MADE WITH A SMOOTH CURVE AND MAINTAIN SHAPE THROUGHOUT. CHANGES IN GRADE OF ADJACENT PIPES SHALL BE TRANSITIONED SMOOTHLY AND EVENLY THROUGH THE STRUCTURE.
7. PIPE PENETRATIONS SHALL BE GROUTED TO ENSURE WATERTIGHT SEALS.

**DRY UTILITY PLAN NOTES**

1. PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL NOTIFY AND COORDINATE CONSTRUCTION WITH UTILITY OWNER.
2. ALL ON-SITE WIRING AND CABLES SHALL BE PLACED UNDERGROUND AND WITHIN CONDUIT UNLESS OTHERWISE SPECIFIED IN THESE PLANS. IF NOT SPECIFIED, ALL CONDUIT SHALL BE IN CONFORMANCE WITH UTILITY OWNER STANDARDS AND SPECIFICATIONS.
3. TELEPHONE AND COMMUNICATION SERVICE ROUTING AND CONDUITS, IF SHOWN AT ALL, ARE SUGGESTED ALIGNMENTS ONLY. CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AS REQUIRED BY MEP AND RELATED PLANS AS WELL AS SERVICE PROVIDER PRIOR TO PAVEMENT INSTALLATION.
4. ALL CONDUIT SHALL BE SCHEDULE 40 PVC PIPE AND SIZED PER MEP PLANS OR AS NOTED. CONDUIT SHALL BE SUFFICIENTLY FLEXIBLE TO ALLOW IT TO CONFORM TO MINOR CHANGES IN TRENCH DIRECTION OR ELEVATION. ALL OTHER BENDS SHALL BE MADE USING PRE-FORMED SWEEPS.

USER: ofunke

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REV. NO.	DATE	REVISIONS DESCRIPTION

UTILITY PLAN  
 CPC OF MO SMITHVILLE CULTIVATION  
 CONSTRUCTION DOCUMENTS

SMITHVILLE, MO  
 2021

drawn by: CSM

checked by: CSM

approved by: TMA

QA/QC by: TMA

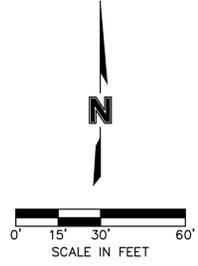
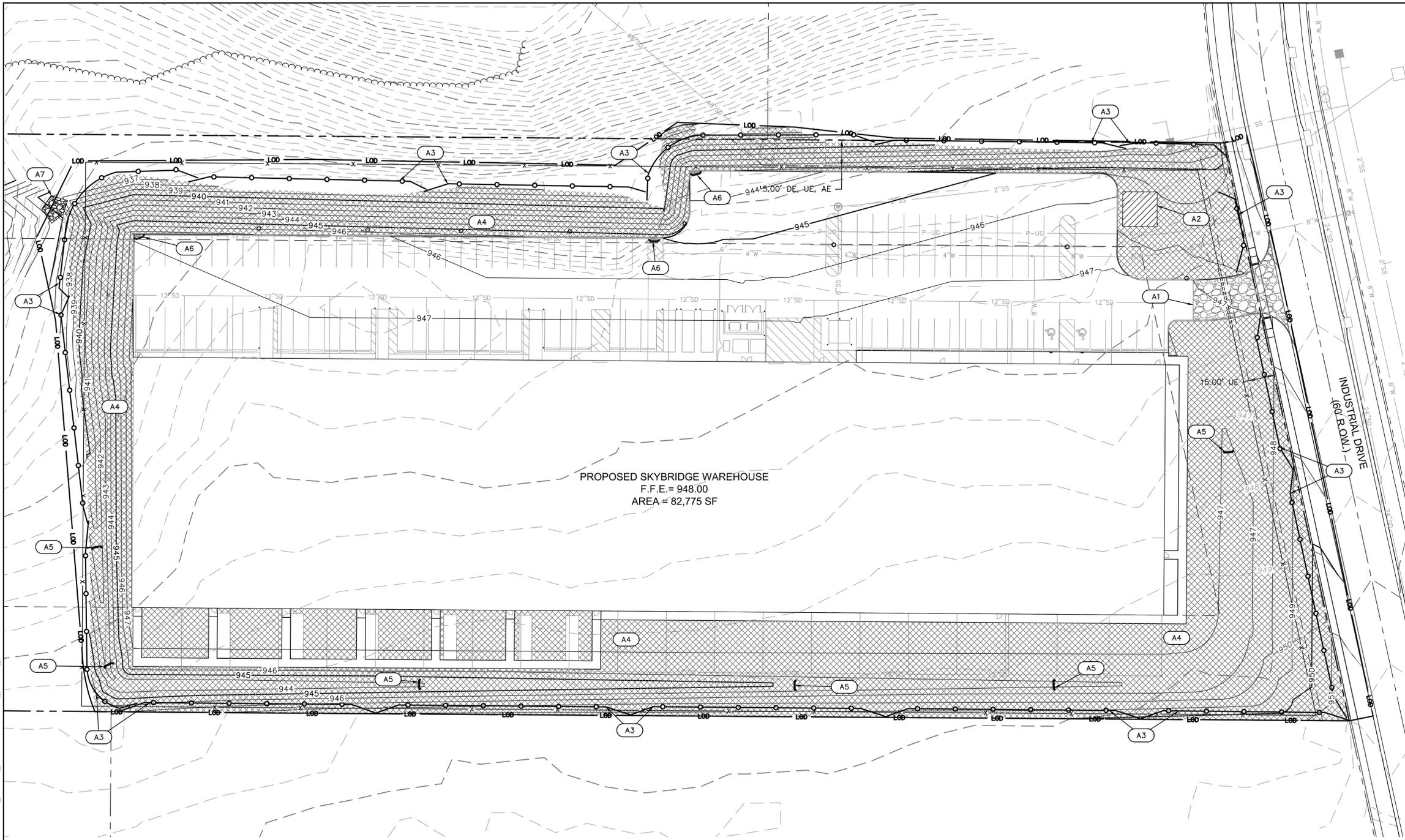
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drawing no.: C:\UTL01\_A2103223

date: 04.27.2021

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LEGEND	
	EXISTING GRADE MAJOR CONTOUR
	EXISTING GRADE MINOR CONTOUR
	INSTALL SILT FENCE
	LIMITS OF DISTURBANCE
	TEMPORARY STONE CONSTRUCTION ENTRANCE
	CONCRETE WASHOUT
	EROSION CONTROL BLANKET
	INLET PROTECTION
	ROCK CHECK DAM

EROSION CONTROL STAGING CHART				
PROJECT STAGE	EROSION CONTROL BMP REFERENCE NO.	BMP DESCRIPTION	REMOVE AFTER STAGE	NOTES:
A - PRE CONSTRUCTION	A1	TEMPORARY CONSTRUCTION ENTRANCE	B	INSTALL PER APWA DETAIL ESC-01
	A2	CONCRETE WASHOUT	B	INSTALL PER APWA DETAIL ESC-01
	A3	SILT FENCE	B	INSTALL PER APWA DETAIL ESC-03
	A4	EROSION CONTROL BLANKET	B	INSTALL PER APWA DETAIL ESC-02
	A5	ROCK CHECK DAM	N/A	INSTALL PER APWA DETAIL ESC-10
	A6	INLET PROTECTION	B	INSTALL PER APWA DETAIL ESC-06
	A7	OUTLET PROTECTION	N/A	INSTALL PER APWA DETAIL ESC-14
B - FINAL STABILIZATION	B1	SEED, SOD AND STABILIZE ALL DISTURBED AREAS AND INSTALL ALL PLANTINGS PER LANDSCAPE PLANS		SEE LANDSCAPE PLANS FOR DETAILS ON SOD AND PLANTINGS; SEED ALL OTHER DISTURBED AREAS. ALL DISTURBED AREAS SHALL BE PREPPED FOR SEEDING/SODDING PER KCMO APWA STANDARDS. APPLICATION OF SEED/SOD SHALL BE DONE IN ACCORDANCE WITH KCMO APWA STANDARDS AND SPECIFICATION. THE SITE DISTURBANCE PERMIT SHALL BE MAINTAINED IN AN "OPEN" STATUS UNTIL FINAL ACCEPTANCE.

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REVISIONS DESCRIPTION

DATE

REV. NO.

EROSION CONTROL PLAN

CPC OF MO SMITHVILLE CULTIVATION  
 CONSTRUCTION DOCUMENTS

SMITHVILLE, MO

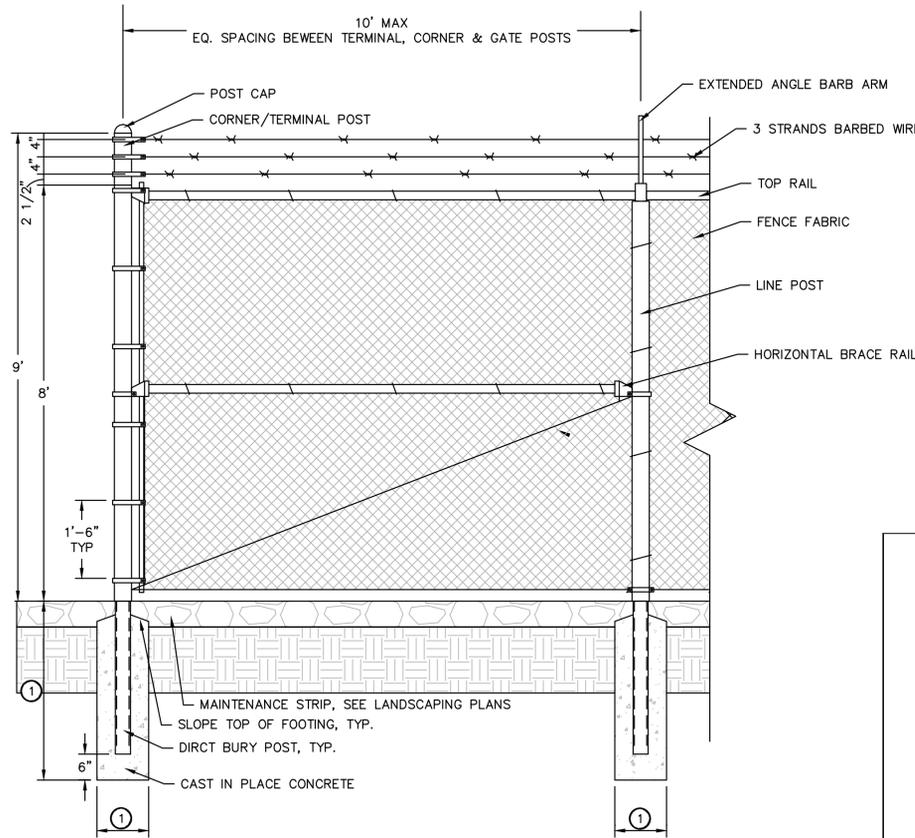
2021

drawn by: CSM  
 checked by: CSM  
 approved by: TMA  
 QA/QC by: TMA  
 project no.: A21-03223  
 drawing no.: C.ERC01\_A2103223  
 date: 04.27.2021

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 C4.0

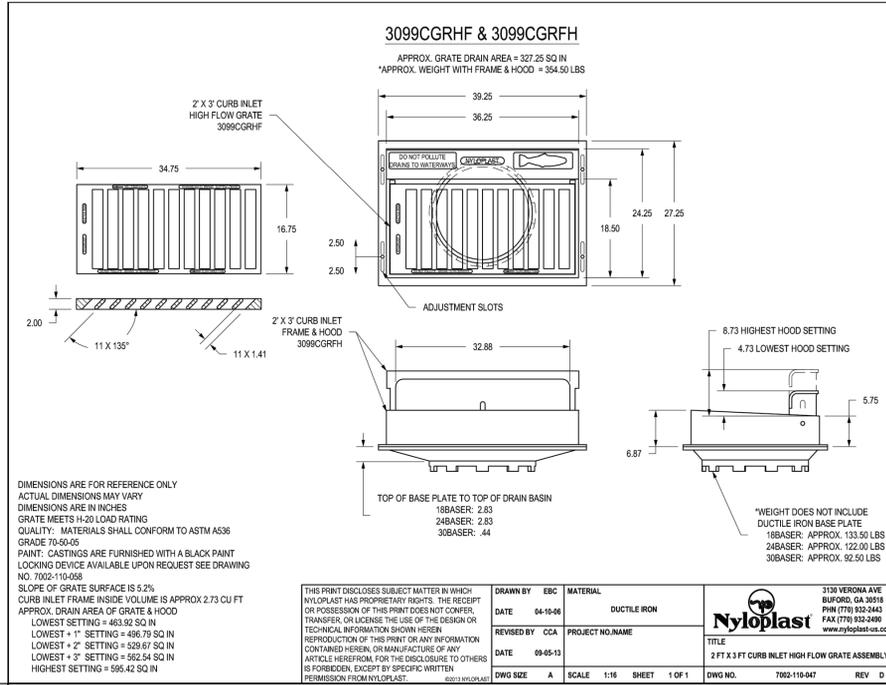


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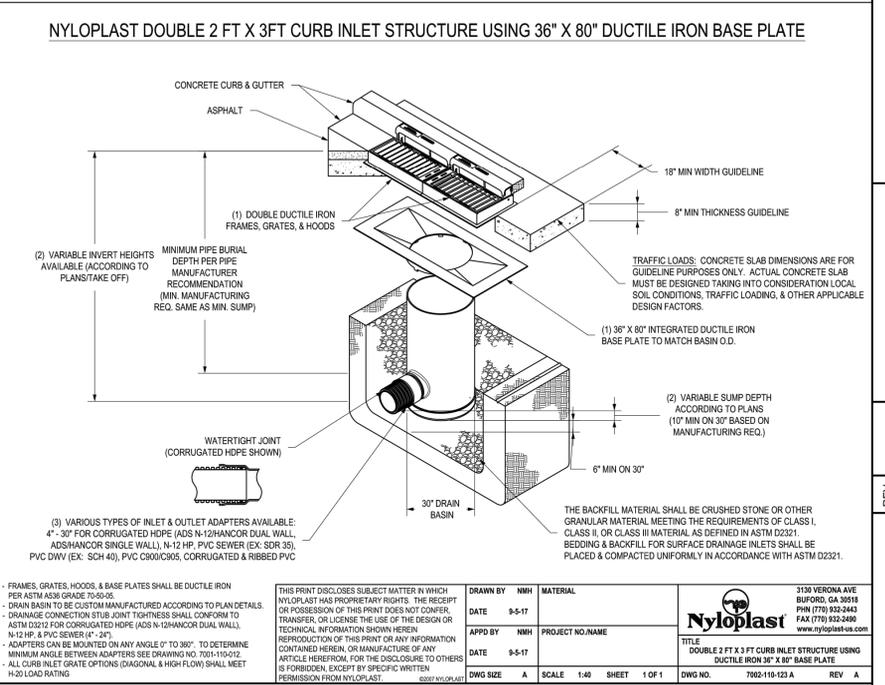
**KEYNOTES**  
 1 FOOTING DESIGN BY CONTRACTOR AS PERFORMANCE SPECIFIED

**SECURITY FENCE DETAIL**  
 NOT TO SCALE

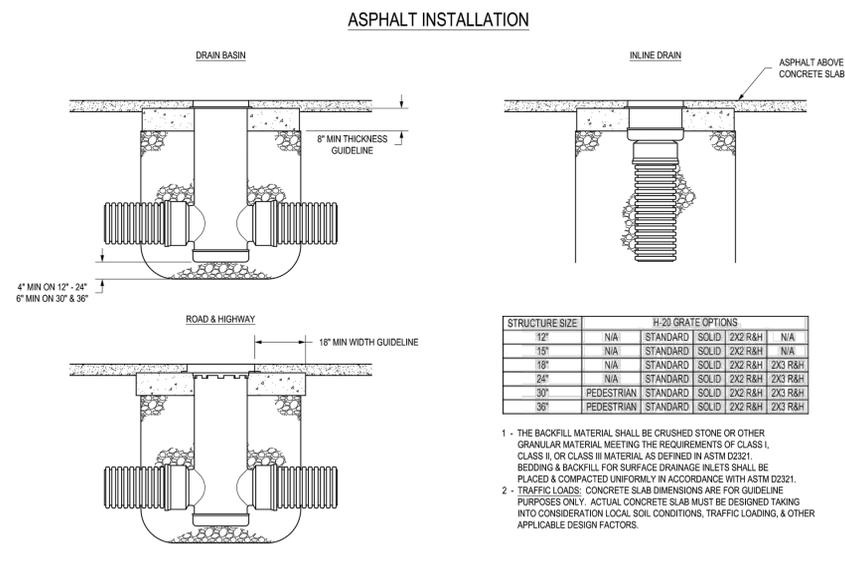


DIMENSIONS ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS MAY VARY. GRATE MEETS H-20 LOAD RATING. QUALITY: MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05. PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT LOCKING DEVICE AVAILABLE UPON REQUEST SEE DRAWING NO. 7002-110-068. SLOPE OF GRATE SURFACE IS 5.2% CURB INLET FRAME INSIDE VOLUME IS APPROX 2.73 CU FT APPROX. DRAIN AREA OF GRATE & HOOD: LOWEST SETTING = 463.92 SQ IN, LOWEST + 1" SETTING = 496.79 SQ IN, LOWEST + 2" SETTING = 529.67 SQ IN, LOWEST + 3" SETTING = 562.54 SQ IN, HIGHEST SETTING = 595.42 SQ IN.

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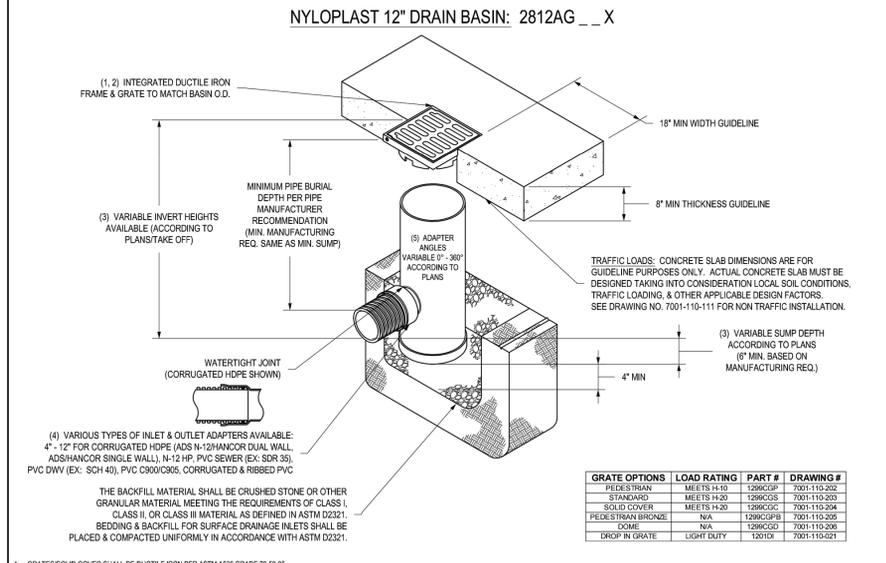


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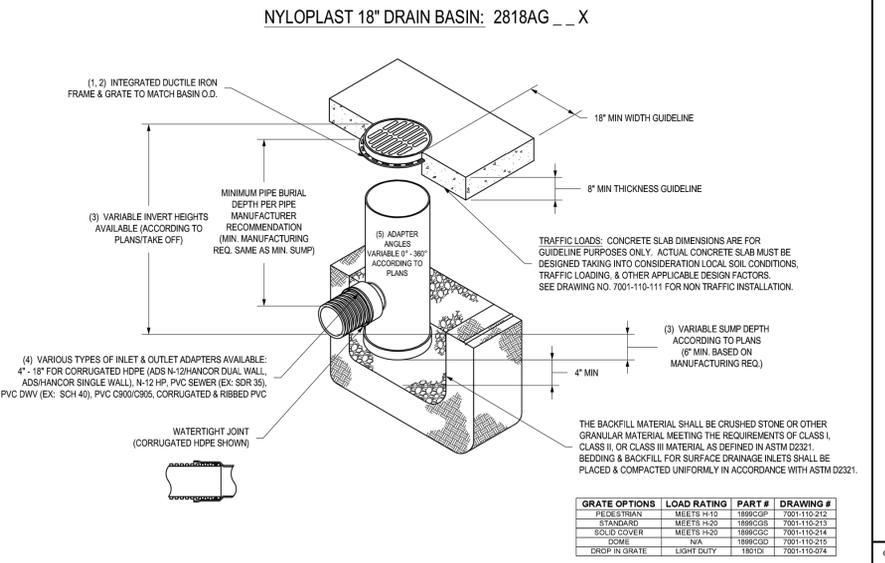
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12"	N/A	STANDARD	SOLID	2X2 R&H	N/A
18"	N/A	STANDARD	SOLID	2X2 R&H	2X3 R&H
24"	N/A	STANDARD	SOLID	2X2 R&H	2X3 R&H
30"	PEDESTRIAN	STANDARD	SOLID	2X2 R&H	2X3 R&H
36"	PEDESTRIAN	STANDARD	SOLID	2X2 R&H	2X3 R&H

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GRATE OPTIONS	LOAD RATING	PART #	DRAWING #
PEDESTRIAN	MEETS H-10	1296COP	7001-110-202
STANDARD	MEETS H-20	1296COS	7001-110-203
SOLID COVER	MEETS H-20	1296CPS	7001-110-204
PEDESTRIAN BRONZE	N/A	1296CPSB	7001-110-205
DOME	N/A	1296CDD	7001-110-209
DROP IN GRATE	LIGHT DUTY	12010	7001-110-021

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GRATE OPTIONS	LOAD RATING	PART #	DRAWING #
PEDESTRIAN	MEETS H-10	1896COP	7001-110-212
STANDARD	MEETS H-20	1896COS	7001-110-213
SOLID COVER	MEETS H-20	1896CPS	7001-110-214
PEDESTRIAN BRONZE	N/A	1896CPSB	7001-110-215
DOME	N/A	1896CDD	7001-110-219
DROP IN GRATE	LIGHT DUTY	18010	7001-110-024

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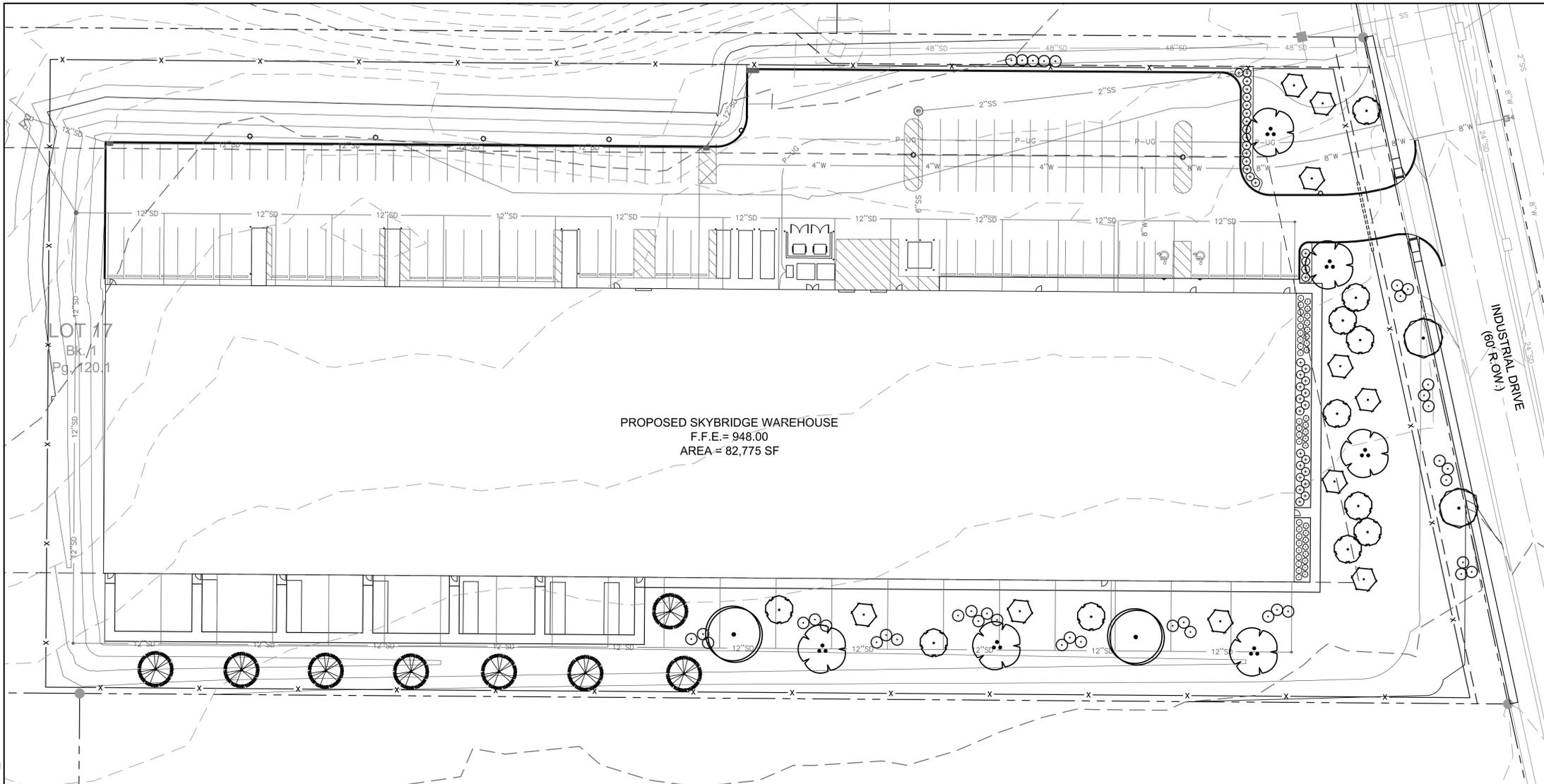
CONSTRUCTION DETAILS

CPC OF MO SMITHVILLE CULTIVATION  
 CONSTRUCTION DOCUMENTS

SMITHVILLE, MO

drawn by: CSM checked by: CSM approved by: TMA QA/QC by: TMA project no.: A21-03223 drawing no.: C-DTL01_A2103223 date: 04.27.2021	<p>2021</p> <p><b>SHEET</b> C5.1</p>
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 PBASE\_A2103223



**PLANT SCHEDULE**

TREES	QTY	BOTANICAL / COMMON NAME	SIZE
	11	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICEBERRY	N/A
	2	BETULA PENDULA / EUROPEAN WHITE BIRCH	N/A
	6	CERCIS CANADENSIS / EASTERN REDBUD MULTI-TRUNK	N/A
	10	MALUS SARGENTII / SARGENT APPLE	N/A
	2	QUERCUS PALUSTRIS / PIN OAK	N/A
	8	TAXODIUM DISTICHUM 'MICKELSON' TM / SHAWNEE BRAVE BALD CYPRESS	N/A
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
	40	JUNIPERUS X MEDIA 'SEA GREEN' / SEA GREEN JUNIPER	CONT., 24" HT.
	22	PHYSOCARPUS OPULIFOLIUS 'SMPOTW' TM / TINY WINE NINEBARK	5 GAL
	21	SPIRAEA JAPONICA 'GOLDMOUND' / GOLDMOUND JAPANESE SPIREA	5 GAL
	38	TAXUS X MEDIA 'DENSIFORMIS' / DENSE ANGLO-JAPANESE YEW	CONT., 24" HT.

**LANDSCAPE DATA TABLE**

CATEGORY	REQUIRED RATIO	REQUIRED QUANTITY	PROVIDED QUANTITY
400.425.D.2.a(4) FOUNDATION LANDSCAPING	MIN. 8' WIDE 10 SHRUBS PER 25' 1 SHADE TREE OR 2 ORNAMENTAL TREES PER 25'	(144' EAST FACADE) 60 SHRUBS 6 SHADE TREES OR 12 ORNAMENTAL TREES	61 SHRUBS 12 ORNAMENTAL TREES
400.435.D.2.a BUILDING BUFFER	1 DECIDUOUS TREE PER 60' 1 ORNAMENTAL TREE PER 70' 3 SHRUBS PER 75'	(596' SOUTH FACADE) 10 DECIDUOUS TREES 9 ORNAMENTAL TREES 24 SHRUBS	10 DECIDUOUS TREES 9 ORNAMENTAL TREES 24 SHRUBS
400.435.D.2.b PARKING BUFFER	1 DECIDUOUS TREE OR 1 ORNAMENTAL TREE PER 60' 1 SHRUB PER 50'	(209' OF PARKING ADJACENT TO LOT 16) 4 DECIDUOUS TREES OR 4 ORNAMENTAL TREES 5 SHRUBS	4 ORNAMENTAL TREES (PLACED ON EAST SIDE OF PARKING LOT DUE TO SITE CONSTRAINTS) 5 SHRUBS
400.435.D.3.a STREET LANDSCAPING (PARKING)	LOW HEDGES, ORNAMENTAL GRASSES OR LOW WALLS 1 ORNAMENTAL TREE PER 75'	(124' OF PARKING ADJACENT TO STREET) LOW HEDGES, ORNAMENTAL GRASSES OR LOW WALLS 2 ORNAMENTAL TREES	EVERGREEN HEDGE 2 ORNAMENTAL TREES
400.435.D.3.b STREET LANDSCAPING (BUILDING)	1 DECIDUOUS TREE OR 2 ORNAMENTAL TREES PER 75' 3 SHRUBS PER 40'	(144' EAST FACADE) 2 DECIDUOUS TREES OR 4 ORNAMENTAL TREES 12 SHRUBS	2 DECIDUOUS TREES 12 SHRUBS

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SCALE IN FEET  
0' 15' 30' 60'

INDUSTRIAL DRIVE  
(60' R.O.W.)

REV. NO.	DATE	REVISIONS DESCRIPTION

LANDSCAPE PLAN

CPC OF MO SMITHVILLE CULTIVATION  
CONSTRUCTION DOCUMENTS

SMITHVILLE, MO

2021

REVISIONS

drawn by: CSM  
 checked by: CSM  
 approved by: TMA  
 QA/QC by: TMA  
 project no.: A21-03223  
 drawing no.: SIT01\_A2103223  
 date: 04.27.2021

**SHEET**  
L1.0



## STAFF REPORT

**Date:** May 28, 2021  
**Prepared By:** Jack Hendrix  
**Subject:** Site Plan Review – KCI RV Site Plan Amendment

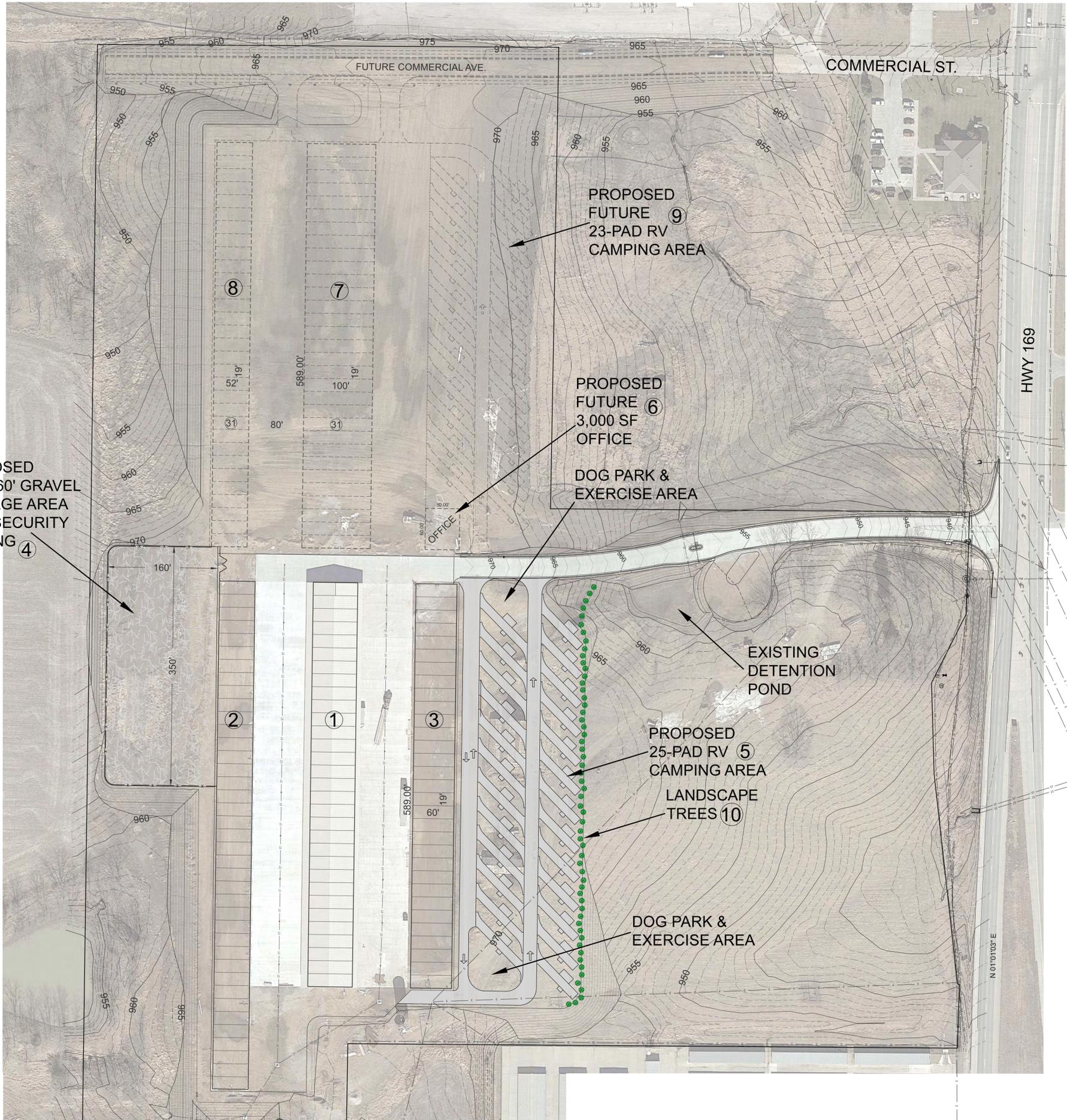
The applicant has submitted a proposed change to the previously approved site plan for KCI RV Storage. This proposal would eliminate one building from the previously approved site plan, but add some different buffering on the east side of the property as seen from 169. The proposal is to install 25 RV Camping Pads just east of the current building 3 on the south half of the project area. The Pad area would be buffered from view of 169 with Green Giant Evergreen Arborvitae trees planted on 10' centers (growth anticipated of 8'-12' diameter when fully grown). This would eliminate any site obscuring fencing along the east side. The green giant is said to be one of the fastest growing landscaping trees available, so full buffer would be present in just a few years.

The proposal also includes 23 additional pad sites available for future construction on the north side of the entrance drive to the north end of the development. In addition to the removal of one RV storage building on the north half, a proposed 3,000 square foot office building with showers, restrooms and laundry facilities for customer use, as well as 24 hour office staff for services. The building must match the other buildings in design and coloration of the previously approved site plan.

The final proposal is not subject to site plan review but is presented for location and identification purposes. That is an outdoor storage area that will be west of the current westernmost building. As with all outdoor storage areas, it must have storage screening that is "a solid or semisolid fence or wall or trees or shrubs at least six (6) feet but not more than eight (8) feet high (maximum height excluded for trees and shrubs) and having a density of not less than eighty percent (80%) per square foot."

All aspects of the proposal comply with the site plan standards. Nothing in this proposal would change the current obligation of the applicant to construct and extend Commercial Dr. to the west property line prior to issuance of a building permit for the 4<sup>th</sup> storage building on the project site.

Staff recommends approval of the site plan as stated above.

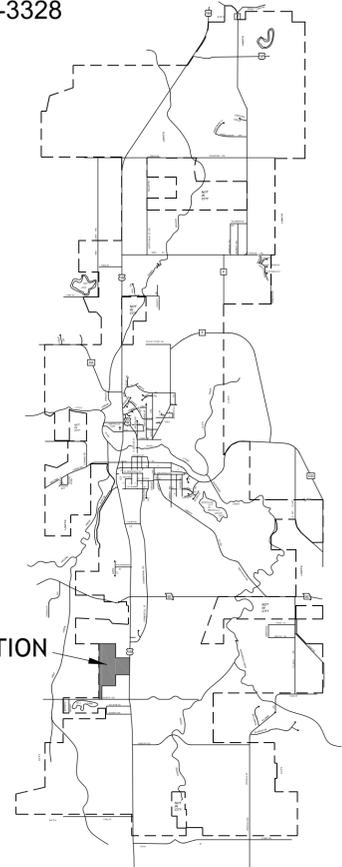


**OWNER:**  
 Steve Kerwin  
 KCI RV Storage  
 12150 Hwy 92  
 Platte City, MO 64079  
 (816) 270-4678

**ENGINEER:**  
 Douglas J Schulte, P.E.  
 Schulte Engineering & Consulting, LLC  
 21 Gates Dr  
 Platte City, MO 64079  
 (816) 260-3328



**FEMA MAP INSET**  
 not to scale

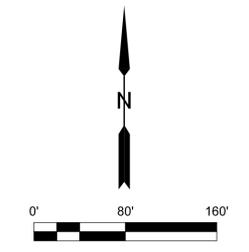


**LOCATION**  
 CITY OF SMITHVILLE  
 (NOT TO SCALE)

- SITE DEVELOPMENT NOTES:**
- 1) BUILDING 1 COMPLETED AND OPERATIONAL IN 2020
  - 2) BUILDING 2 COMPLETED AND OPERATIONAL APRIL 2021
  - 3) BUILDING 3 CONSTRUCTION BEGINS SPRING 2021
  - 4) GRAVEL STORAGE LOT WILL BE UTILIZED FOR RV AND CAMPER STORAGE OFFERED AT REDUCED RATES.
  - 5) RV PADS WILL BE MADE AVAILABLE TO CUSTOMERS OF KCI RV STORAGE.
  - 6) FUTURE OFFICE WITH SEPERATE ENTRANCE FOR CUSTOMER RESTROOM, LAUNDRY, AND SHOWERS. OFFICE STAFF WILL BE AVAILABLE FOR 24-HR SERVICES.
  - 7) FUTURE BUILDING 4
  - 8) FUTURE BUILDING 5
  - 9) PROPOSED FUTURE RV PADS
  - 10) LANDSCAPE TREES, SEE LANDSCAPING NOTES

**LANDSCAPING NOTES:**

NAME:	GREEN GIANT
GROWING ZONES:	5-8
BOTANICAL NAME:	THUJA STANDISHII X PLICATA 'GREEN GIANT'
MATURE HEIGHT:	40 - 50 FEET
MATURE SPREAD:	8 - 12 FEET
SUN EXPOSURE:	FULL SUN, PARTIAL SHADE
SOIL TYPE:	WIDELY ADAPTABLE
GROWTH RATE:	FAST, 3'-5' PER YEAR
FOLIAGE:	EVERGREEN



Rev Date: 5-18-21

**RV STORAGE FACILITY**  
**14600 HWY 169**  
**SMITHVILLE, MO 64089**

Schulte Engineering & Consulting, LLC

21 Gates Dr.  
 Platte City, MO 64079  
 www.schulteengineering.com  
 admin@schulteengineering.com  
 PHONE: (816) 260-3328



**Date:** June 2, 2021  
**Prepared By:** Jack Hendrix  
**Subject:** Herzog Foundation Cabins

In March of 2020, the Herzog Foundation came forward with a proposed new subdivision and rezoning request on the north 8 acres of the Catholic Church parcel. The purpose of that proposal was to allow the design and construction of an approximately 17,000 square foot national headquarters and office complex. The original concept was to have an entrance approximately 275' east of 169. That proposal triggered certain off-site street improvements along 188<sup>th</sup> St. from 169 to Main St., subject to the actual site plan submitted. That zoning and plat were approved in the City's first Zoom Planning Commission meeting.

In September, the foundation came forward with the actual site plan documents for the foundation. In those documents, in addition to the foundation headquarters, the foundation indicated that they had future plans to put some form of cabins on the property for use of out-of-town guests. At that time, there was not enough information for city staff to evaluate the proposal, so it was not included in the Site Plan approval from September of 2020.

Recently, the foundation submitted plans for the development of the cabins. The review of the plans as submitted meet the design and layout standards of the Site plan ordinances. The most significant point of discussion has been the development of the site significantly to the east of the headquarters building in what was originally a large, wooded area. Now that the site plan is expanding, and more particularly nearly to the Main St. intersection, staff is requiring the remainder of the adjacent street improvements.

Staff recommends approval of the Site Plan, conditioned upon the infrastructure improvements of Main St., as follows:

Construct a new asphalt street, including appropriate sub-grade improvements and storm sewer as needed along the entire property line. The new asphalt street should be adjusted to the center of the existing right of way as is practicable. The new asphalt street must include both curb/gutters and a 6' sidewalk to match the 188<sup>th</sup> St. Improvements already underway. The minimum standard is 8" of asphalt pavement on treated/ stabilized subgrade of 24' width (plus the additional width of the curbs) and any taper into the existing roadway. Public Improvement plans must meet current City standards and approved by the Public Works Director.

# Stanley Herzog Foundation: Cabins

ISSUED FOR:  
Planning Commission

**Owner**  
Stanley Herzog Foundation  
14450 N US Highway 169, Ste L  
Smithville, MO 64089

**Contractor**  
Crossland Construction, Inc.  
3252 Roanoke Rd  
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Contact: Matt Crossland  
matt\_crossland@crossland.com  
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sassan@skdg.com  
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**MEP Engineer**  
PKMR Engineers  
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pete.christiansen@pkmr.com  
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**Lighting**  
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361B Main  
Weston, MO 64098  
Contact: Katie Green  
katie@lightworkskc.com  
816.640.9948 x3

Entry



Loop Trail



Phase 1: Offices  
Submitted to Planning Commission 09.08.2020

Phase 2: Cabins  
Submitted to Planning Commission 06.08.2021



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**CIVIL**  
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**STRUCTURAL**  
PMA Engineering  
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**MECHANICAL, ELECTRICAL, PLUMBING**  
PKMR Engineers  
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**LIGHTING DESIGNER**  
LightWorks, Inc.  
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**Stanley Herzog Foundation: Cabins**

105 NW 188th Street  
Smithville, Missouri 64089

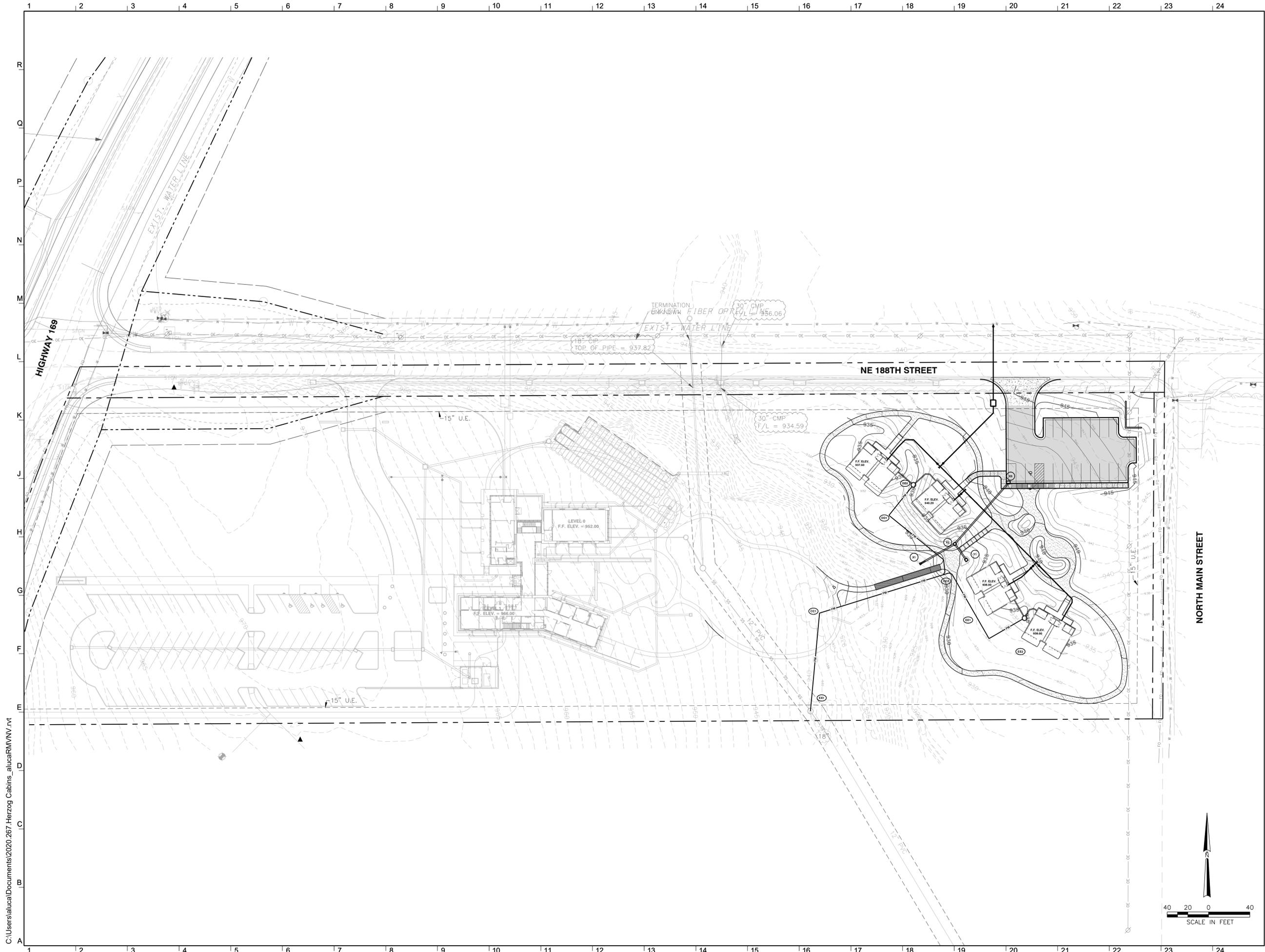
14450 N US Highway 169, Suite L  
Smithville, MO 64089

ISSUED FOR:  
Planning Commission 05.28.2021

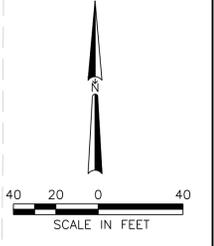
Missouri Certificate of Authority: #ARC000344

Drawn By \_\_\_\_\_ Author  
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**P1**



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## Stanley Herzog Foundation: Cabins

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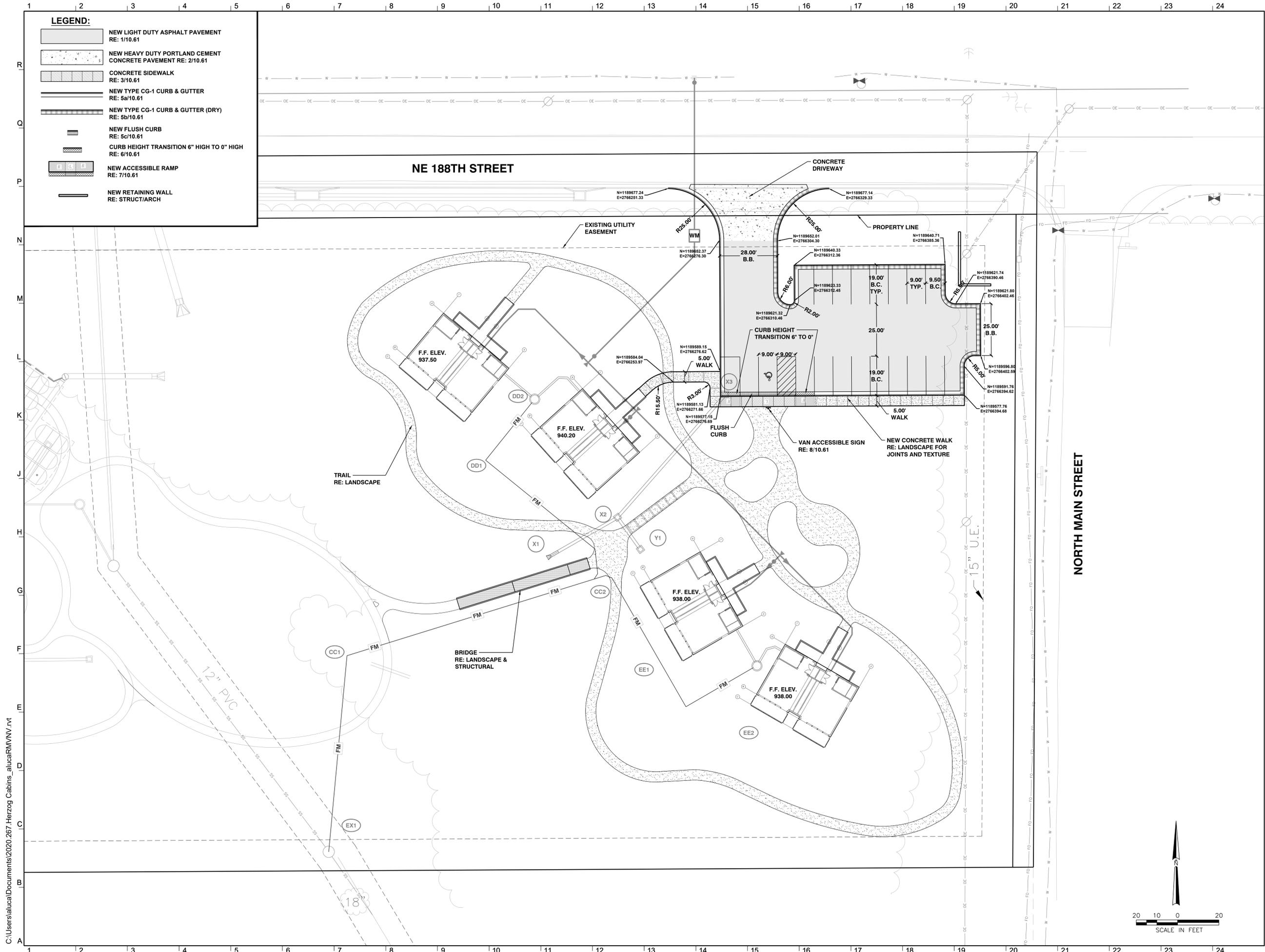
Herzog Foundation  
 14450 N US Highway 169, Suite L  
 Smithville, MO 64089

ISSUED FOR:  
 Permit and Bid 04.14.2021

Missouri Certificate of Authority: # 001274

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 Checked By \_\_\_\_\_ Checker

# P2



**LEGEND:**

	NEW LIGHT DUTY ASPHALT PAVEMENT RE: 1/10.61
	NEW HEAVY DUTY PORTLAND CEMENT CONCRETE PAVEMENT RE: 2/10.61
	CONCRETE SIDEWALK RE: 3/10.61
	NEW TYPE CG-1 CURB & GUTTER RE: 5a/10.61
	NEW TYPE CG-1 CURB & GUTTER (DRY) RE: 5b/10.61
	NEW FLUSH CURB RE: 5c/10.61
	CURB HEIGHT TRANSITION 6" HIGH TO 0" HIGH RE: 6/10.61
	NEW ACCESSIBLE RAMP RE: 7/10.61
	NEW RETAINING WALL RE: STRUCT/ARCH

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 Cabins**

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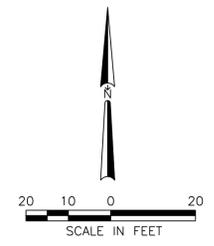
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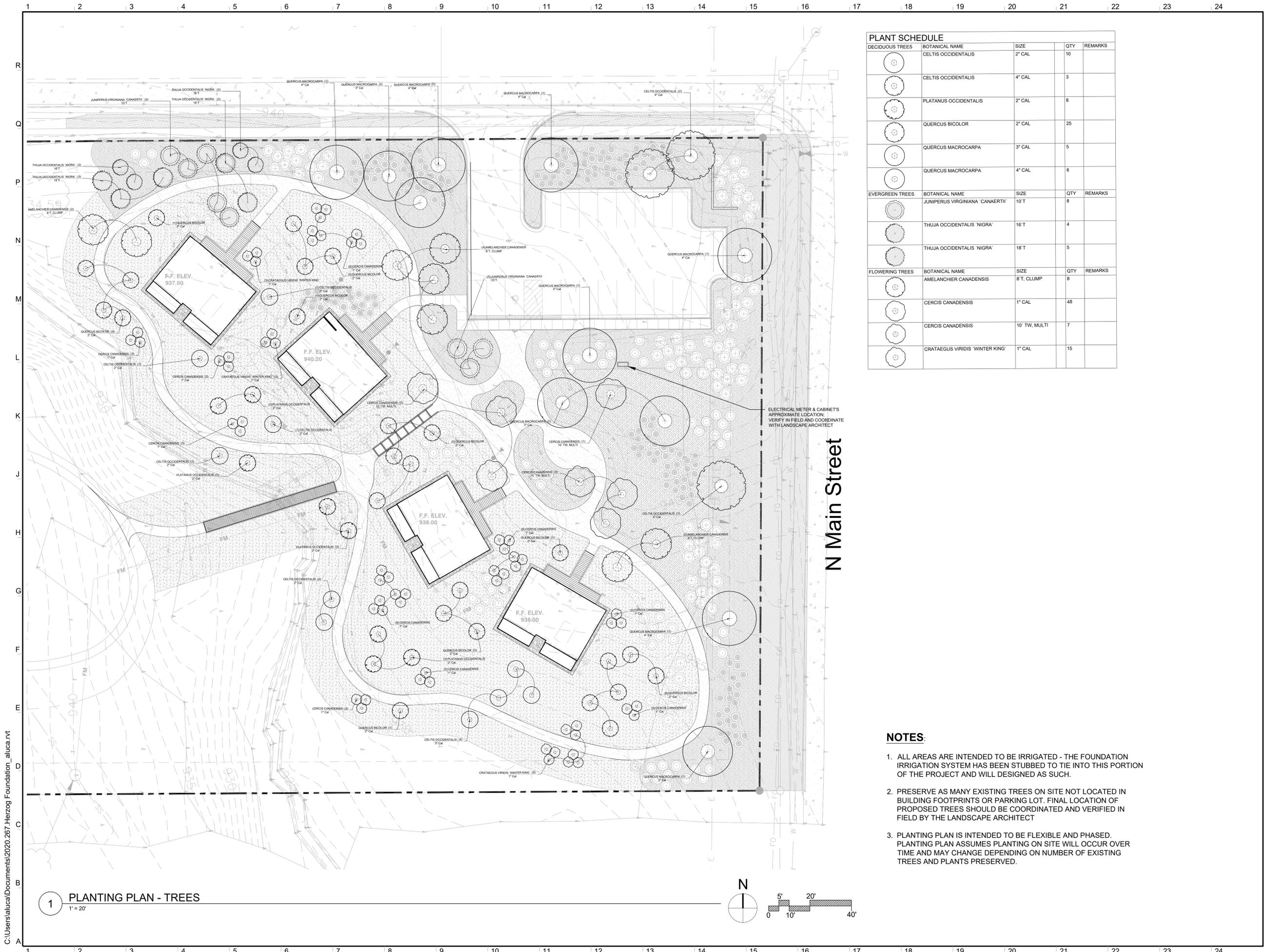
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Drawn By: Author  
 Checked By: Checker

**P3**



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PLANT SCHEDULE				
DECIDUOUS TREES	BOTANICAL NAME	SIZE	QTY	REMARKS
	CELTIS OCCIDENTALIS	2" CAL	10	
	CELTIS OCCIDENTALIS	4" CAL	3	
	PLATANUS OCCIDENTALIS	2" CAL	8	
	QUERCUS BICOLOR	2" CAL	25	
	QUERCUS MACROCARPA	3" CAL	5	
	QUERCUS MACROCARPA	4" CAL	6	
EVERGREEN TREES	BOTANICAL NAME	SIZE	QTY	REMARKS
	JUNIPERUS VIRGINIANA 'CANAERTII'	10' T	8	
	THUJA OCCIDENTALIS 'NIGRA'	16' T	4	
	THUJA OCCIDENTALIS 'NIGRA'	18' T	5	
FLOWERING TREES	BOTANICAL NAME	SIZE	QTY	REMARKS
	AMELANCHIER CANADENSIS	8' T, CLUMP	8	
	CERCIS CANADENSIS	1" CAL	48	
	CERCIS CANADENSIS	10' TW, MULTI	7	
	CRATAEGUS VIRIDIS 'WINTER KING'	1" CAL	15	

ELECTRICAL METER & CABINETS APPROXIMATE LOCATION. VERIFY IN FIELD AND COORDINATE WITH LANDSCAPE ARCHITECT

N Main Street

**NOTES:**

1. ALL AREAS ARE INTENDED TO BE IRRIGATED - THE FOUNDATION IRRIGATION SYSTEM HAS BEEN STUBBED TO TIE INTO THIS PORTION OF THE PROJECT AND WILL BE DESIGNED AS SUCH.
2. PRESERVE AS MANY EXISTING TREES ON SITE NOT LOCATED IN BUILDING FOOTPRINTS OR PARKING LOT. FINAL LOCATION OF PROPOSED TREES SHOULD BE COORDINATED AND VERIFIED IN FIELD BY THE LANDSCAPE ARCHITECT
3. PLANTING PLAN IS INTENDED TO BE FLEXIBLE AND PHASED. PLANTING PLAN ASSUMES PLANTING ON SITE WILL OCCUR OVER TIME AND MAY CHANGE DEPENDING ON NUMBER OF EXISTING TREES AND PLANTS PRESERVED.

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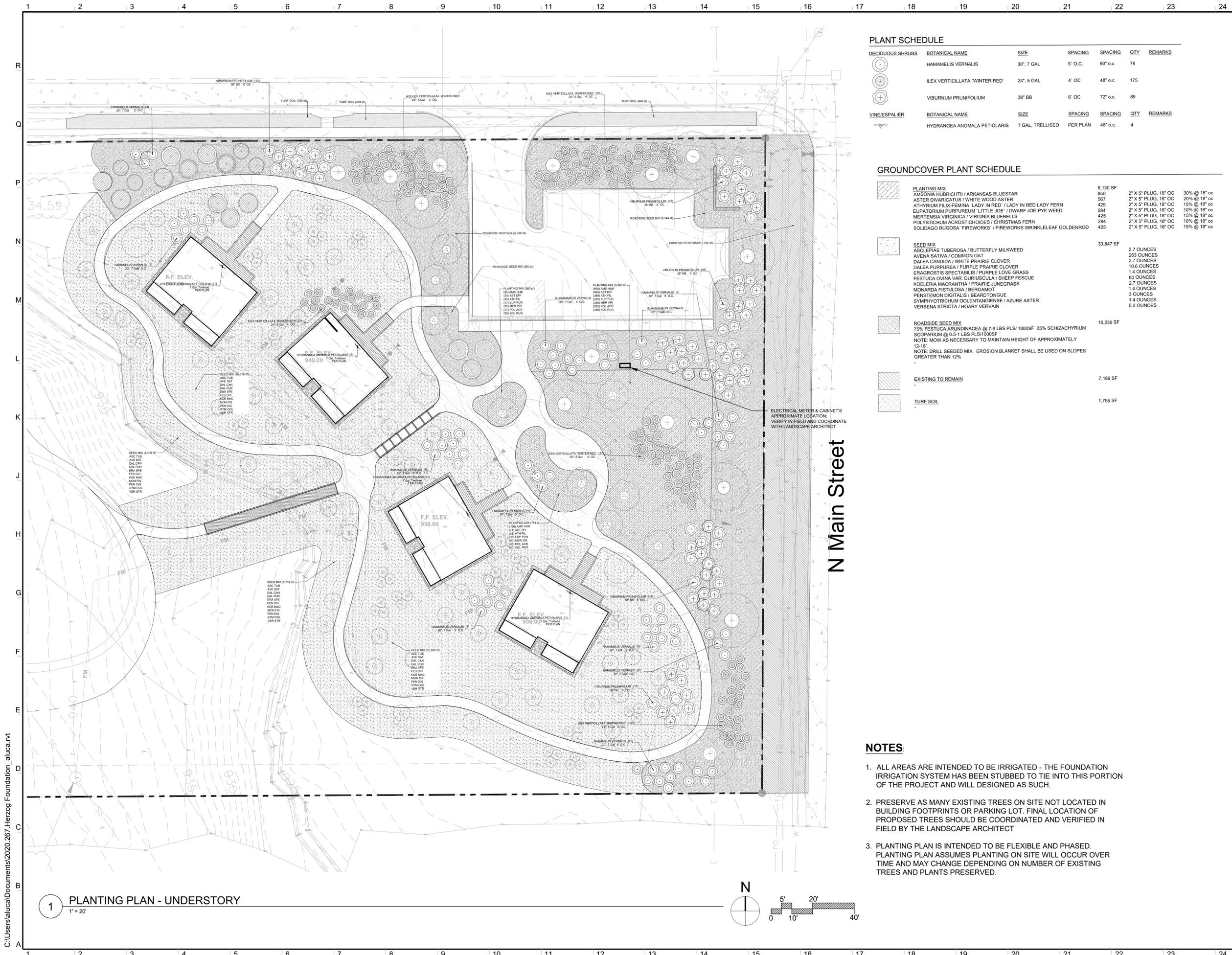
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ISSUED FOR:  
 Permit and Bid 04.14.2021

Drawn By AS Author  
 Checked By MO, AR Checker

**P4**

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**PLANT SCHEDULE**

DECIDUOUS SHRUBS	BOTANICAL NAME	SIZE	SPACING	SPACING	QTY	REMARKS
⊕	HAMMAMELIS VERNALIS	30", 7 GAL	5' O.C.	60" o.c.	79	
⊕	ILEX VERTICILLATA 'WINTER RED'	24", 5 GAL	4' OC	48" o.c.	175	
⊕	VIBURNUM PRUNIFOLIUM	36" BB	6' OC	72" o.c.	89	
VINE/ESPALIER	BOTANICAL NAME	SIZE	SPACING	SPACING	QTY	REMARKS
~	HYDRANGAEA ANOMALA PETIOLARIS	7 GAL, TRELLISED	PER PLAN	48" o.c.	4	

**GROUNDCOVER PLANT SCHEDULE**

▨	PLANTING MIX AMSONIA HUBRICHII / ARKANSAS BLUE STAR ASTER DIVARICATUS / WHITE WOOD ASTER ATHYRIUM FILIX-FEMINA 'LADY IN RED' / LADY IN RED LADY FERN EUPATORIUM PURPUREUM 'LITTLE JOE' / DWARF JOE-PYE WEED MERTENSIA VIRGINICA / VIRGINIA BLUEBELLS POLYSTICHUM ACROSTICHOIDES / CHRISTMAS FERN SOLIDAGO RUGOSA 'FIREWORKS' / FIREWORKS WRINKLELEAF GOLDENROD	6,130 SF 850 567 425 284 425 284 425	2' X 5" PLUG, 18" OC 20% @ 18" oc 15% @ 18" oc 10% @ 18" oc 15% @ 18" oc 10% @ 18" oc 15% @ 18" oc
▨	SEED MIX ASCLEPIAS TUBEROSA / BUTTERFLY MILKWEED AVENA SATIVA / COMMON OAT DALEA CANDIDA / WHITE PRAIRIE CLOVER DALEA PURPUREA / PURPLE PRAIRIE CLOVER ERAGROSTIS SPECTABILIS / PURPLE LOVE GRASS FESTUCA OVINA VAR. DURUSCULA / SHEEP FESCUE KOeleria MACRANTHA / PRAIRIE JUNEGRASS MONARDA FISTULOSA / BERGAMOT PENSTEMON DIGITALIS / BEARDTONGUE SYMPHYOTRICHUM COLENTANGIENSE / AZURE ASTER VERBENA STRICTA / HOARY VERVAIN	33,847 SF 2.7 OUNCES 2.7 OUNCES 10.6 OUNCES 1.4 OUNCES 80 OUNCES 2.7 OUNCES 1.4 OUNCES 3 OUNCES 1.4 OUNCES 5.3 OUNCES	
▨	ROADSIDE SEED MIX 75% FESTUCA ARUNDINACEA @ 7-9 LBS PLS/ 1000SF 25% SCHIZACHYRIUM SCOPARIUM @ 0.5-1 LBS PLS/1000SF NOTE: MOW AS NECESSARY TO MAINTAIN HEIGHT OF APPROXIMATELY 12-18" NOTE: DRILL SEEDED MIX. EROSION BLANKET SHALL BE USED ON SLOPES GREATER THAN 12%	16,236 SF	
▨	EXISTING TO REMAIN	7,186 SF	
▨	TURF SOIL	1,755 SF	

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LIGHTING DESIGNER  
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**Stanley Herzog Foundation: Cabins**

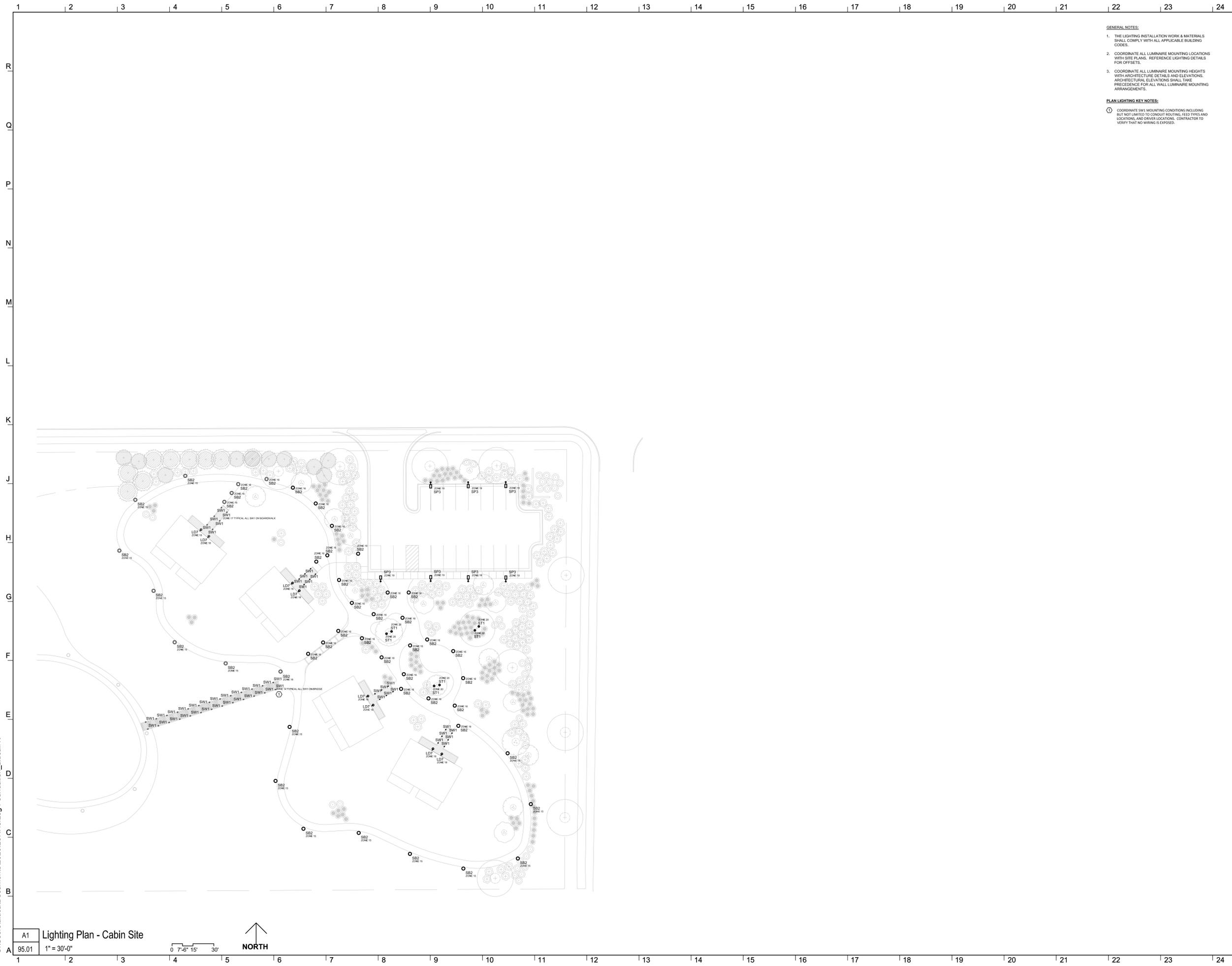
105 NW 188th Street  
Smithville, Missouri 64089

Herzog Foundation  
14450 N US Highway 169, Suite L  
Smithville, MO 64089

ISSUED FOR:  
Permit and Bid 04.14.2021

Drawn By AS Author  
Checked By MO, AR Checker

**P5**



- GENERAL NOTES:**
1. THE LIGHTING INSTALLATION WORK & MATERIALS SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES.
  2. COORDINATE ALL LUMINAIRE MOUNTING LOCATIONS WITH SITE PLANS. REFERENCE LIGHTING DETAILS FOR OFFSETS.
  3. COORDINATE ALL LUMINAIRE MOUNTING HEIGHTS WITH ARCHITECTURE DETAILS AND ELEVATIONS. ARCHITECTURAL ELEVATIONS SHALL TAKE PRECEDENCE FOR ALL WALL LUMINAIRE MOUNTING ARRANGEMENTS.
- PLAN LIGHTING KEY NOTES:**
- ① COORDINATE SW1 MOUNTING CONDITIONS INCLUDING BUT NOT LIMITED TO CONDUIT ROUTING, FEED TYPES AND LOCATIONS, AND DRIVER LOCATIONS. CONTRACTOR TO VERIFY THAT NO WIRING IS EXPOSED.

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- AV & ACOUSTIC  
 BranchPattern  
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- LIGHTING DESIGNER  
 LightWorks, Inc.  
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- FOOD FACILITY DESIGNER  
 Santee/Becker Associates, LLC  
 913.362.1800

**Stanley Herzog Foundation**

105 NW 188th Street  
 Smithville, Missouri 64089

ISSUED FOR:  
 Construction, PR004 02.01.2021

Drawn By \_\_\_\_\_ Author \_\_\_\_\_  
 Checked By \_\_\_\_\_ Checker \_\_\_\_\_

**P6**

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A1	Lighting Plan - Cabin Site
95.01	1" = 30'-0"

0 7'-6" 15' 30'

**NORTH**

LIGHTING FIXTURE SCHEDULE						
SYMBOL	MANUFACTURER	IMAGE	MODEL #	DRIVER	DESCRIPTION	LOCATION
LDF	BK TEKA LIGHTING		8W80 8070 LED L16 FINISH A COW	ELV 120V	WALL MOUNTED DOWNLIGHT SOURCE WITH EXTERIOR 15" SHADE. OVERALL FIXTURE DEPTH 19-11/16". 30W, 3000K LED SOURCE WITH SOURCE OUTPUT OF 871 DELIVERED LUMENS. SUITABLE FOR WET LOCATION IP65. FINISH TED. NOTE LINE VOLTAGE 120V AC ONLY. COMPATIBLE WITH LOW VOLTAGE DIMMERS ONLY.	EXTERIOR BUILDING MOUNTED DOWNLIGHTS
SB2	BK TEKA LIGHTING		1130 24 LED E4	NON-DIM 120V	24" TALL PATH LIGHT WITH 18" GROUND POWER PIPE STAKE WITH INTEGRAL DRIVER AND REMOTE TRANSFORMER. 7W, 300K LED WITH 80CRI AND DELIVERED OUTPUT OF 231 LUMENS. FINISH TO BE DETERMINED.	PATHWAY
SP3	BEGA		9888 K3	0-10V DIM UNV	98-1/2" TALL POLE WITH SURFACE WASHING LUMINAIRE. 15.6W, 3000K LED WITH 80CRI AND DELIVERED OUTPUT OF 1754 LUMENS. FINISH TO BE DETERMINED. FIXTURE TILTED AT 15 DEGREES.	CABIN PARKING LOT POLE
ST1	BK LIGHTING EQUIVALENT ECOSENSE F88 WITH RISE PERMA POSE-18 MOUNT HYDREL ASPEN		DE LED 358 FL 82 12 11 4	ELV 120V	STAKE MOUNTED LED FLOOD UPLIGHT WITH DRIVER IN 18" TALL STAKE.	TREE UPLIGHT
SW1	BK LIGHTING		862 LED x100 AN CUSTOM RAL D	MAGNETIC LOW VOLTAGE DIMMER	BACK BOX MOUNTED RECESSED STEP LIGHT WITH LOCKER FOR GLARE CONTROL. INTEGRAL DIMMING DRIVER. CUSTOM RAL FINISH TO BE SELECTED BY ARCHITECT.	STEP LIGHT ON BRIDGE AND CABIN BOARDWALKS

# GastingerWalker &

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## Stanley Herzog Foundation

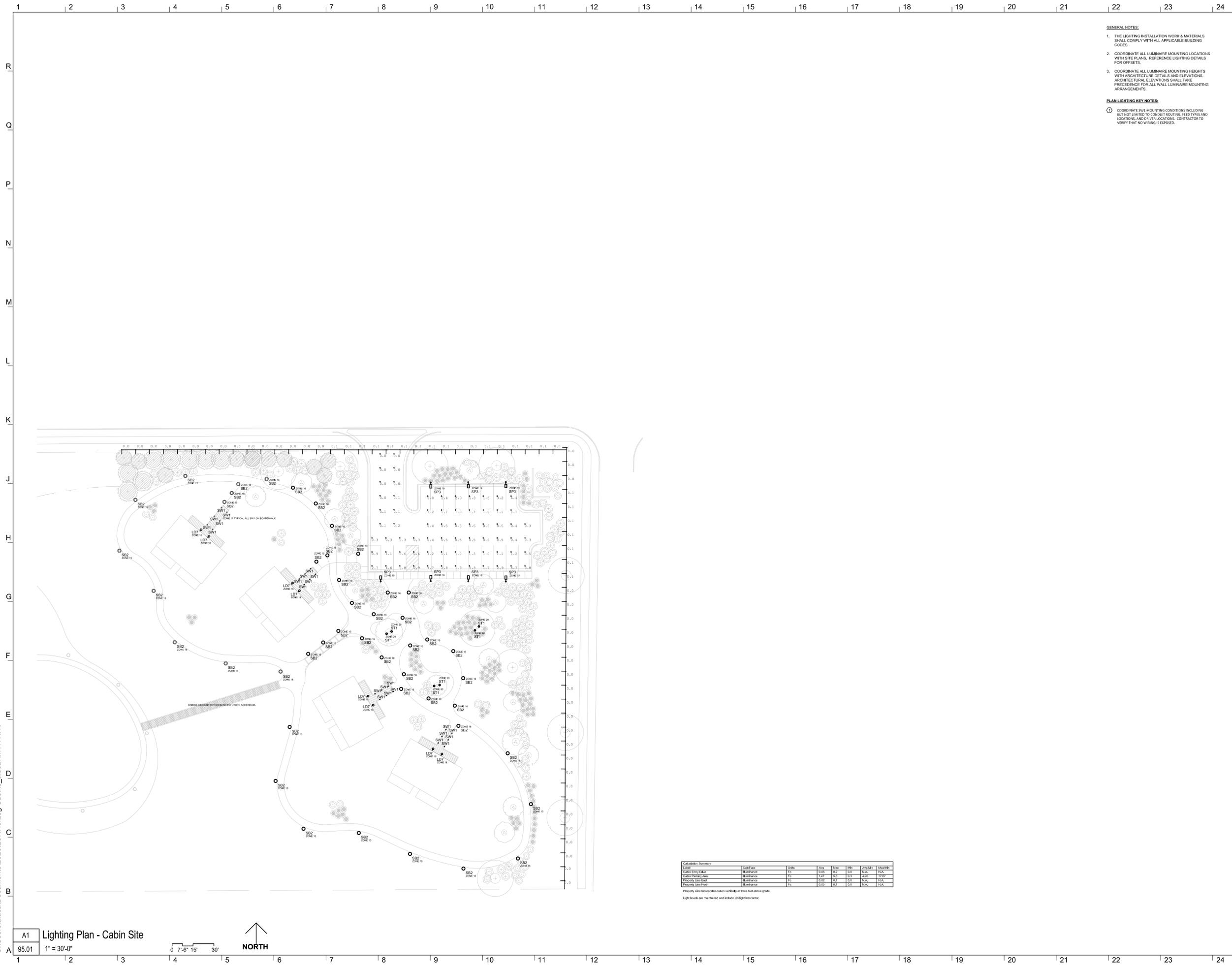
105 NW 188th Street  
 Smithville, Missouri 64089

ISSUED FOR:  
 Construction, PR0004 02.01.2021

Drawn By: KG  
 Checked By: KV

# P7

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- GENERAL NOTES:**
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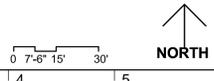
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Drawn By: KG  
 Checked By: KV

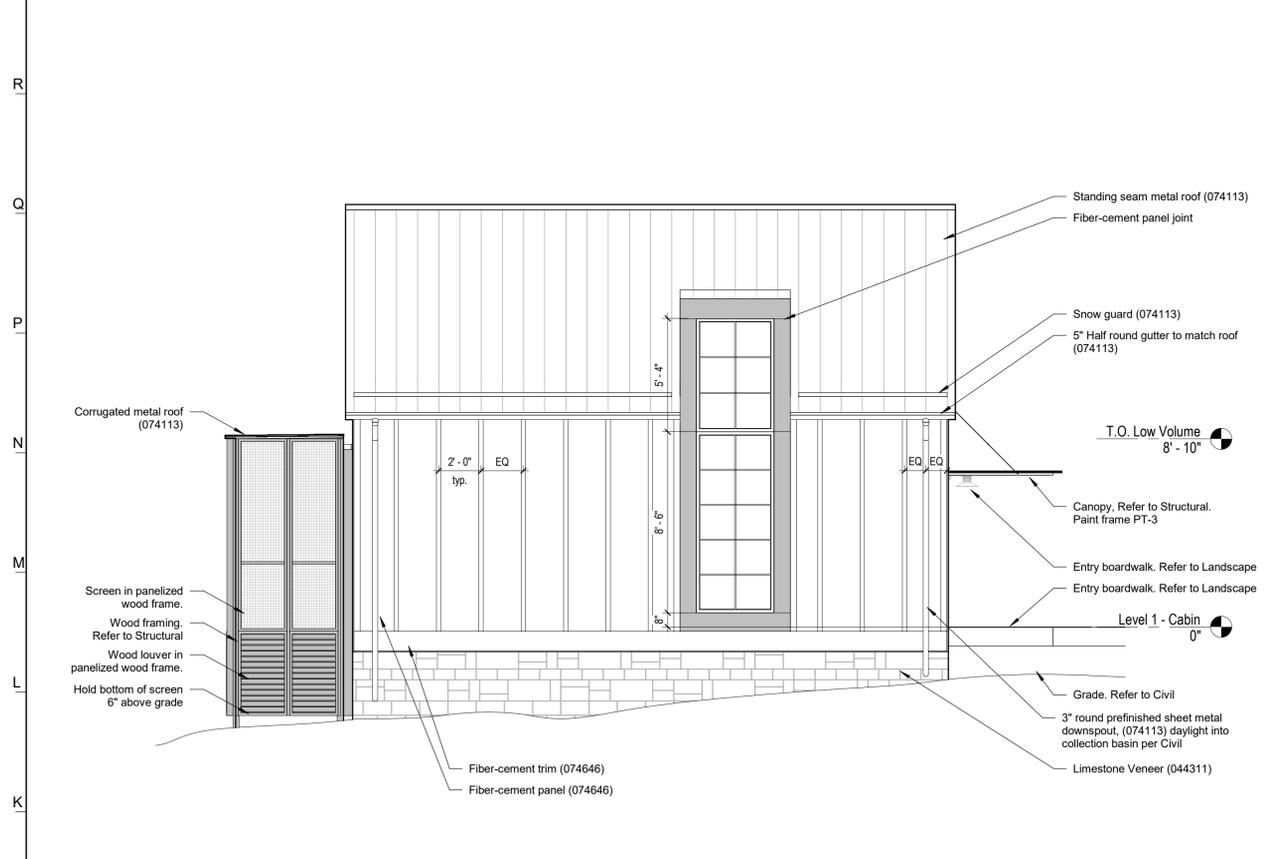
**P8**

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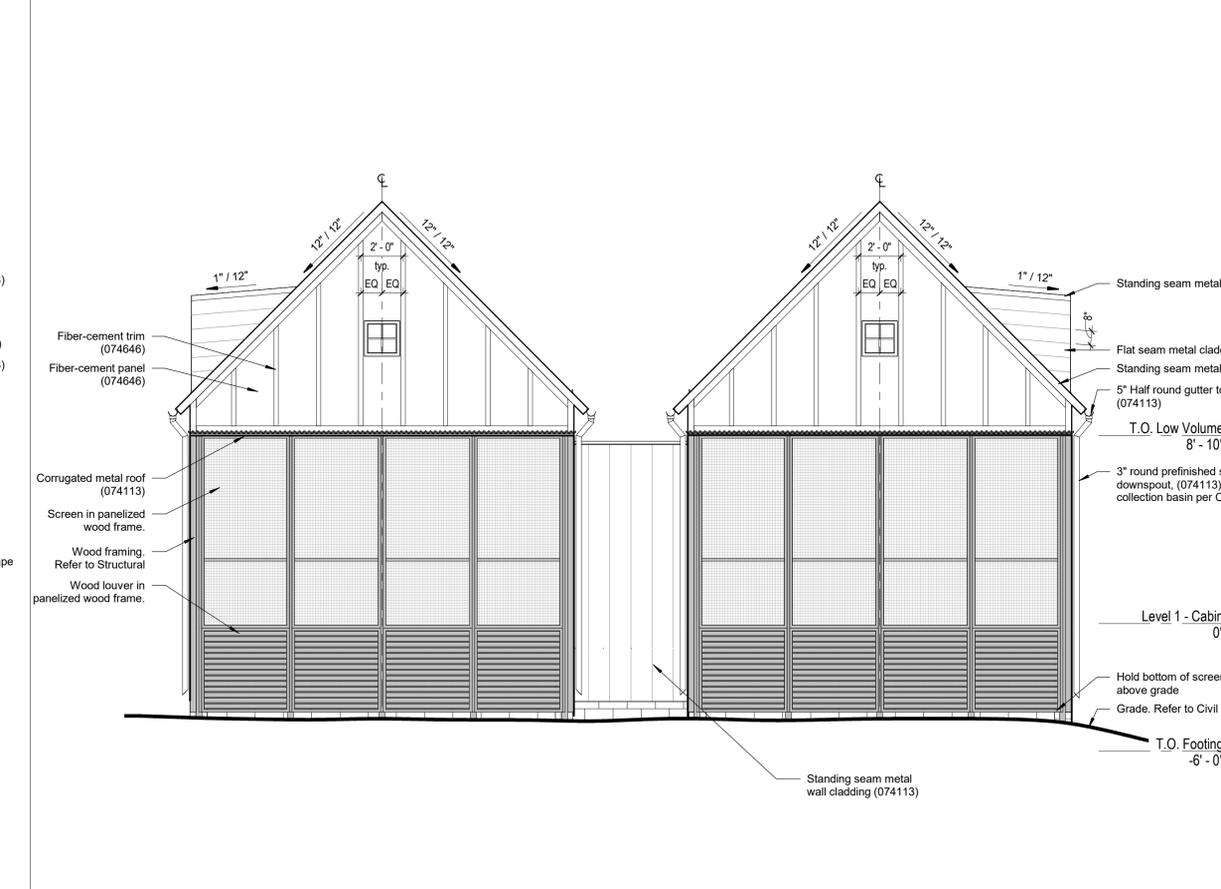
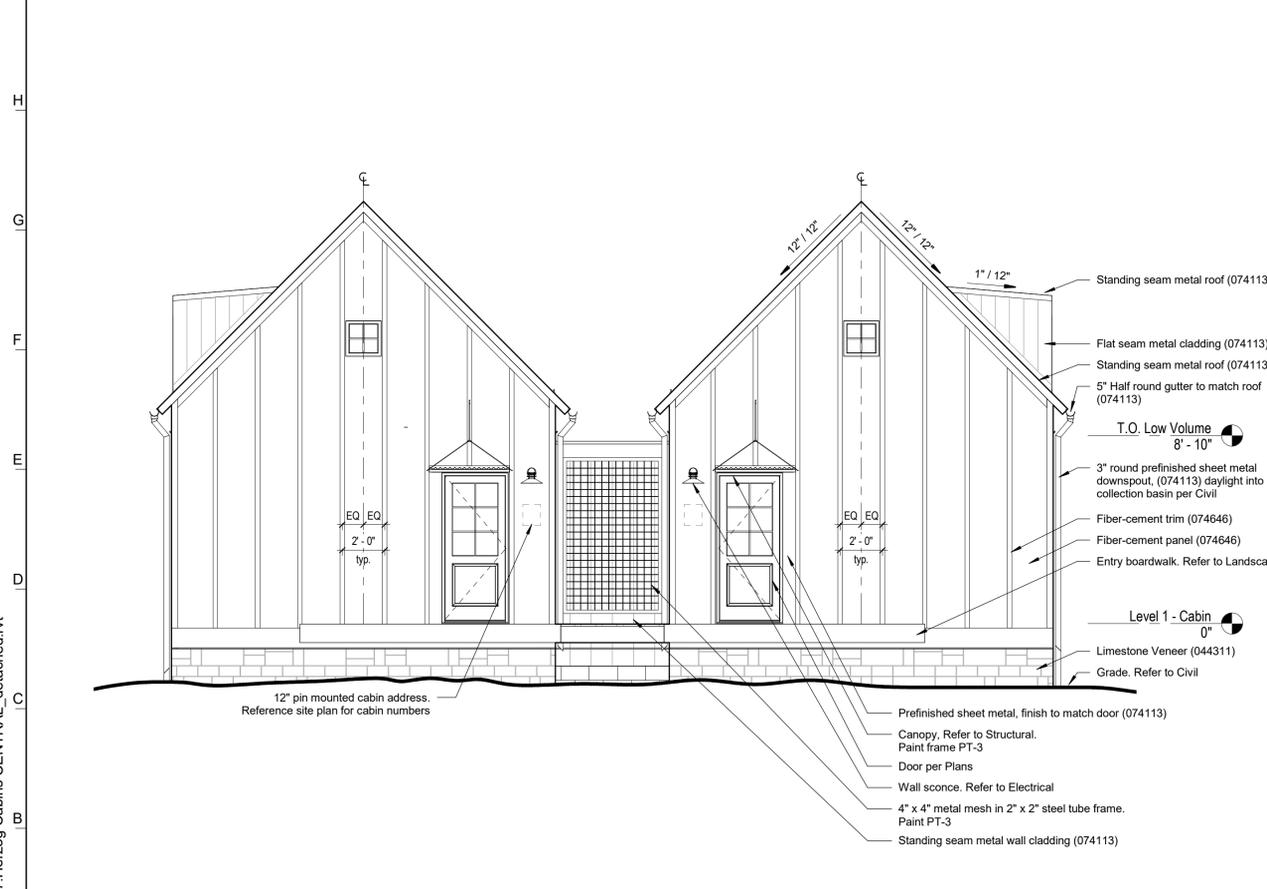
A1 Lighting Plan - Cabin Site  
 95.01 1" = 30'-0"



1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24



J1 Building Elevation - Side  
 30.01 1/4" = 1'-0"



A1 Building Elevation - Entry  
 30.01 1/4" = 1'-0"

A13 Building Elevation - Porch  
 30.01 1/4" = 1'-0"

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